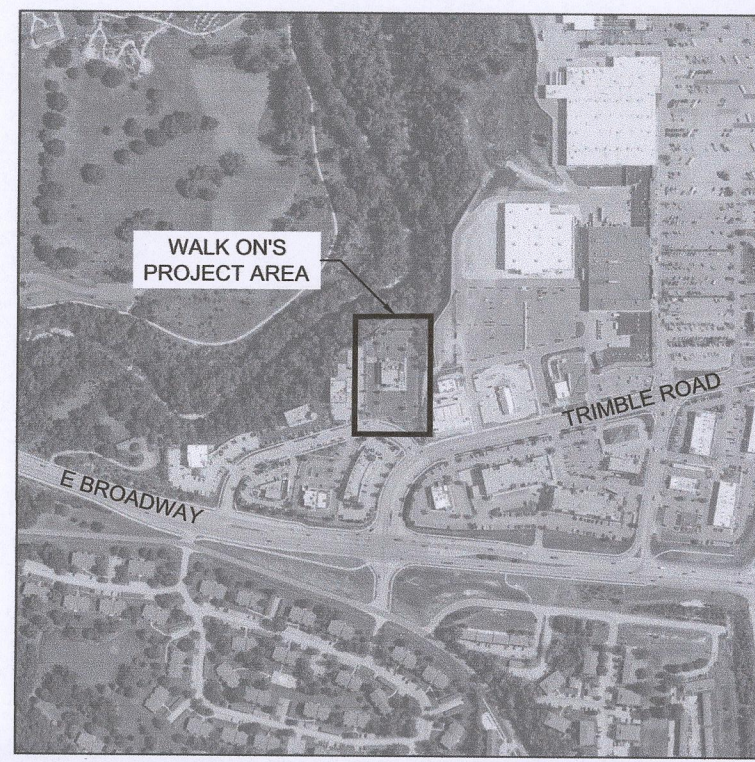


**BROADWAY BLUFFS SUBDIVISION LOT 5 - WALK ON'S
MAJOR AMENDMENT TO EXISTING PD PLAN FOR HOULIHAN'S**

PD PLAN MAJOR AMENDMENT FOR BLDC 2111-2022:



LOCATION MAP
NOT TO SCALE

PARCEL NUMBER:
BROADWAY BLUFFS SUBDIVISION LOT 5

SIGN NOTES

- THE MAXIMUM NUMBER OF FREE STANDING SIGNS ON THE SITE WILL BE ONE (1).
 - THIS SIGN SHALL BE AN ILLUMINATED, FREE STANDING MONUMENT SIGN ALONG BROADWAY BLUFF DRIVE WITH A MAXIMUM HEIGHT OF TWELVE (12) FEET AND A MAXIMUM SURFACE AREA OF SIXTY-FOUR (64) SQUARE FEET. SIGN PROXIMITY TO THE EAST AND WEST PROPERTY LINE SHALL NOT BE LIMITED.
- ALL WALL SIGNS SHALL MEET M-C REQUIREMENTS.

BUILDING NOTES

- THE MAXIMUM HEIGHT OF THE PROPOSED BUILDING SHALL BE THIRTY-FIVE (35) FEET.
 - MAXIMUM ALLOWABLE BUILDING AREA SHALL BE 8,500 SQUARE FEET.
- BUILDING SETBACKS SHALL BE AT LEAST:
 - BROADWAY BLUFFS DRIVE RIGHT-OF-WAY: 25 FEET
 - EAST PROPERTY LINE: 10 FEET
 - WEST PROPERTY LINE: 10 FEET
 - NORTH PROPERTY LINE: 10 FEET

LIGHTING NOTES

- THE PROPOSED MAJOR AMENDMENT WILL CHANGE NONE OF THE EXISTING LIGHTING FOR THE SITE.
- ALL LIGHT STANDARDS SHALL BE EQUAL TO THOSE USED AND APPROVED IN THE BROADWAY SHOPS DEVELOPMENT. THE MAXIMUM NUMBER OF ADDITIONAL LIGHT STANDARDS SHALL BE EIGHT (8). ALL LIGHTS SHALL HAVE A MAXIMUM HEIGHT OF TWENTY-FIVE (25) FEET, AS MEASURED FROM THE BASE. FIXTURES SHALL BE FULL CUT OFF FIXTURES.

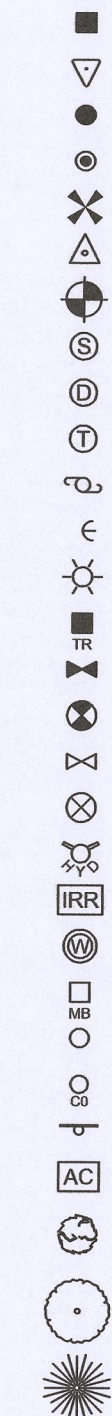
FLOODPLAIN NOTES

- THE MAJOR AMENDMENT IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN.
- THE NEAREST FLOODPLAIN PER FEMA FIRM PANEL 29019C0283E, EFFECTIVE DATE 04/19/2017, IS APPROXIMATELY 80 FEET NORTH OF THE SITE, ALONG HINKSON CREEK, WITH A BASE FLOOD ELEVATION OF APPROXIMATELY 661.4.
- THE PROPOSED MAJOR AMENDMENT WILL NOT HAVE AN IMPACT UPON THE FLOODPLAIN, AS IT IS BEING BUILT WITHIN AN EXISTING DEVELOPMENT WHICH IS APPROXIMATELY 60 FEET HIGHER THAN THE BASE FLOOD ELEVATION OF THE FLOODPLAIN AND WILL NOT INCREASE THE IMPERVIOUS AREA OF THE EXISTING SITE.

STORMWATER NOTES

- THE PROPOSED MAJOR AMENDMENT WILL ADD NO IMPERVIOUS AREA, NOR NEW DRAINAGE FEATURES, TO THE SITE.

SYMBOLS



- MARKER STONE
- RIGHT OF WAY MARKER
- IRON PIN FOUND
- IRON PIN SET
- CUT CROSS
- CONTROL POINT
- BENCHMARK
- SANITARY SEWER MANHOLE
- STORM SEWER INLET
- TELEPHONE MANHOLE
- POWER POLE
- GUY ANCHOR
- LIGHT POLE
- TELEPHONE RISER
- GAS VALVE
- GAS METER
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- IRRIGATION VALVE
- WELL
- MAIL BOX
- POST
- CLEANOUT
- SIGN
- AIR CONDITIONING UNIT
- SHRUB
- DECIDUOUS TREE
- CONIFEROUS TREE

CIVIL LEGENDS

LINETYPES	
— PL —	PROPERTY LINE
— RW —	RIGHT OF WAY LINE
— S —	SANITARY SEWER LINE
— FM —	SANITARY SEWER FORCE MAIN
— ST —	STORM SEWER LINE
— IRR —	IRRIGATION WATER LINE
— FL —	FLOW LINE
— OHE —	OVERHEAD ELECTRIC LINE
— UE —	UNDERGROUND ELECTRIC LINE
— G —	GAS LINE
— W —	WATER LINE
— C —	COMMUNICATIONS LINE
— T —	TELEPHONE LINE
— FO —	FIBER OPTIC LINE
— CTV —	CABLE TELEVISION
— O —	CHAIN LINK FENCE
— X —	BARBED WIRE FENCE
— □ —	WOOD FENCE
— 1000 —	EXISTING MAJOR CONTOUR
— 1001 —	EXISTING MINOR CONTOUR
— 1000 —	PROPOSED MAJOR CONTOUR
— 1001 —	PROPOSED MINOR CONTOUR
— - - -	SILT FENCE / SILT SOCK
— ~ ~ ~	TREE LINE

KEY NOTES:

- EXISTING 8" PVC SANITARY SEWER GRAVITY MAIN.
- EXISTING PRIVATE SEWER LATERAL.
- EXISTING TRANSFORMER.
- EXISTING 18" RCP STORM SEWER LINE.
- APPROXIMATE PROPERTY LINE EXTENTS BASED UPON COLUMBIA GIS DATA AND RECORD SURVEY DRAWINGS.
- PROPOSED 800 SQUARE FOOT ENCLOSURE.
- EXISTING WATER MAIN.
- EXISTING 4" GAS MAIN.
- EXISTING WALKWAY.
- EXISTING UTILITY EASEMENT.

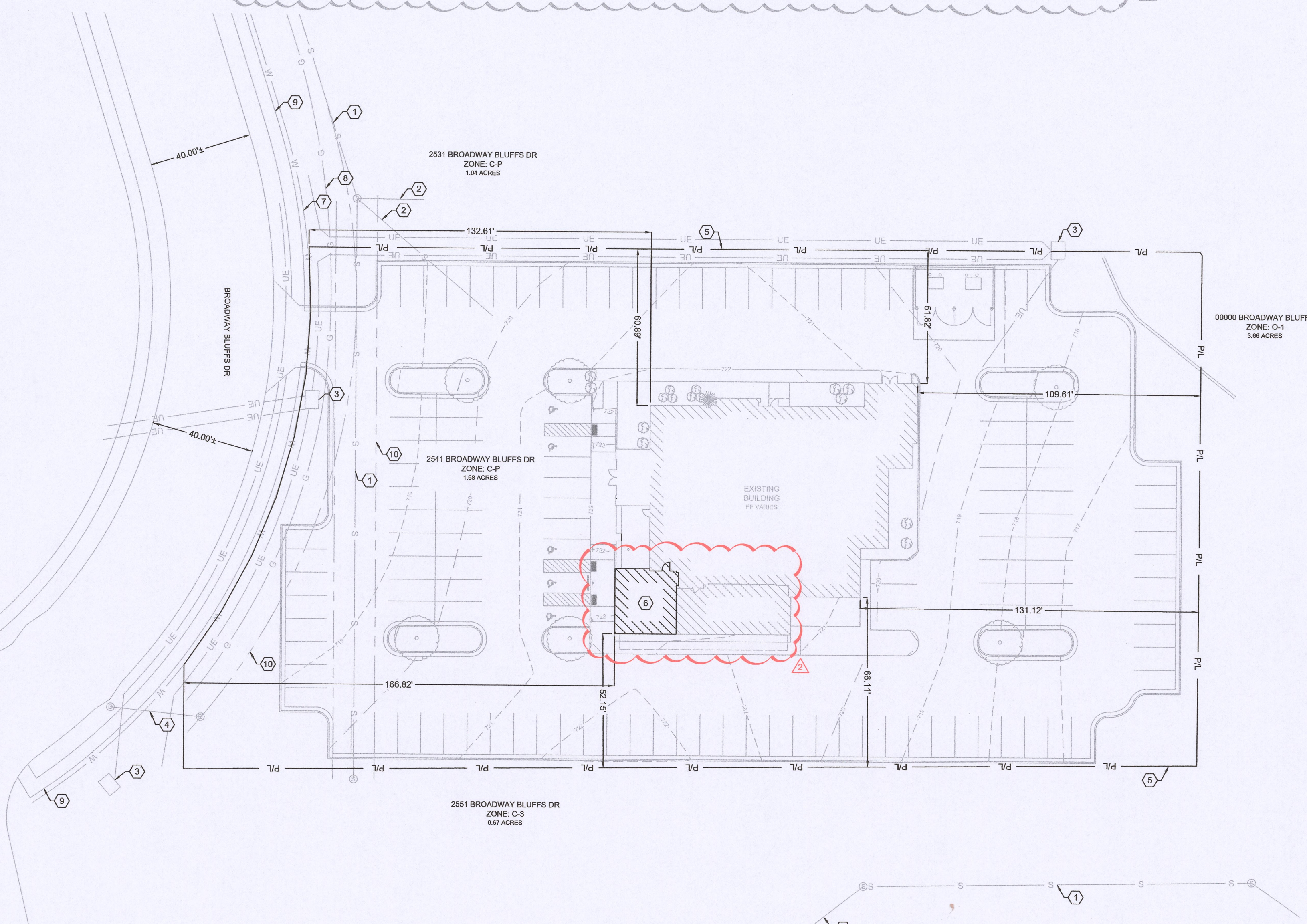
GENERAL NOTES:

PROPERTY OWNER: BB LOT 5, LLC
2541 BROADWAY BLUFFS DR

EXISTING GROSS FLOOR AREA: 7,898 SQFT
PROPOSED GROSS FLOOR AREA: 8,498 SQFT

PARKING SCHEDULE NOTES:

PARKING SPACES REQUIRED = 7,898 SQFT / 150 = 53 SPACES
EXISTING PARKING SPACES PROVIDED = 128 SPACES
ADA SPACES REQUIRED FOR 101-150 SPACES:
ACCESSIBLE PARKING SPACES REQUIRED = 5 SPACES
VAN ACCESSIBLE PARKING SPACES REQUIRED = 1 SPACES
ADA SPACES PROVIDED:
ACCESSIBLE PARKING SPACES PROVIDED = 5 SPACES
VAN ACCESSIBLE PARKING SPACES PROVIDED = 1 SPACES



APPROVED BY THE CITY OF COLUMBIA PLANNING AND ZONING COMMISSION THIS 20th DAY OF October, 2022.

SHARON GEUEA JONES, CHAIRPERSON

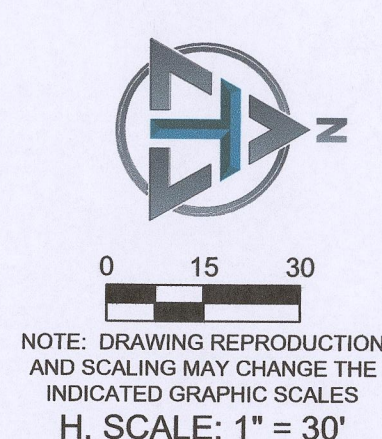
APPROVED BY CITY COUNCIL PURSUANT TO ORDINANCE # _____ ON THE _____ DAY OF _____, 2022.

BARBARA BUFFALO, MAYOR

ATTEST:

SHEELA AMIN, CITY CLERK

APPROVED AMENDMENT:
*INCREASE BUILDING FOOTPRINT TO 8,498 SQFT



3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65804
PHONE: 417.880.5541 FAX: 417.880.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-200607284



HOULIHAN'S PD PLAN
2541 BROADWAY BLUFFS DR
COLUMBIA, MISSOURI

MODIFICATIONS:
REVISOR PER CITY COMMENTS 10/04/22
REVISOR PER CITY COMMENTS 10/13/22



1550 EAST REPUBLIC ROAD
SPRINGFIELD, MO 65804
PH: 417.888.9545 - F: 417.888.0657
WWW.TOTHASSOCIATES.COM

TOTH & ASSOCIATES, INC.
MO STATE CERTIFICATE OF AUTHORITY # 200400242

PD PLAN MAJOR AMENDMENT FOR
BLDC 2111-2022:



MATTHEW STEVEN MILLER - ENGINEER
MO# PE-2011000227

Project No. Drawn By Date CAD File No.
BKD-2554.2 JHT 09/09/2022

C201
PD - SITE PLAN

SPECIAL NOTICE: IN THE EVENT THE CLIENT CONSENTS TO, ALLOWS, AUTHORIZES OR APPROVES CHANGES TO ANY PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS, AND THESE CHANGES ARE NOT APPROVED IN WRITING BY THE DESIGN PROFESSIONAL, THE CLIENT RECOGNIZES THAT SUCH CHANGES AND THE RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL. THEREFORE, THE CLIENT AGREES TO RELEASE THE DESIGN PROFESSIONAL FROM ANY LIABILITY ARISING FROM THE CONSTRUCTION, USE OR RESULT OF SUCH CHANGES. IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ANY DAMAGE, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE) ARISING FROM SUCH CHANGES. COPYRIGHT © 2022 BY BUXTON KUBIK DODD, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPY OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE ARCHITECT.

BROADWAY BLUFFS SUBDIVISION LOT 5 - WALK ON'S
MAJOR AMENDMENT TO EXISTING PD PLAN FOR HOULIHAN'S



HATCH LEGEND:

- LAWN RESTORATION. INSTALL TOPSOIL, SEED, & MULCH IN ACCORDANCE WITH PROJECT SPECIFICATIONS. EXTENTS SHOWN DO NOT NECESSARILY REFLECT FULL EXTENTS OF RESTORATION REQUIRED. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS. INSTALL EROSION CONTROL BLANKET ON ALL SLOPES 15% OR STEEPER. SEE LANDSCAPING NOTES, THIS SHEET.
- LANDSCAPING. SMOOTHED SOIL TO BE COVERED BY WEED FABRIC AND TOPPED WITH 3\"/>

KEY NOTES:

- 1 EXISTING BUFFER YARD, TYP.
- 2 PROPOSED 600 SQUARE FOOT ENCLOSURE.
- 3 OMITTED.
- 4 EXISTING LANDSCAPING, TYP.
- 5 EXISTING PLANTINGS, TYP.
- 6 STREET FRONTAGE LANDSCAPING AREA.
- 7 DISTURB EXISTING TRANSFORMER.
- 8 EXISTING TREE.
- 9 APPROXIMATE PROPERTY LINE EXTENTS BASED UPON COLUMBIA GIS DATA AND RECORD SURVEY DRAWINGS.

GENERAL NOTES:

LANDSCAPING SHOWN ACCORDING TO CURRENT PD-PLAN FOR BROADWAY BLUFFS SUBDIVISION LOT 5. CONTRACTOR SHALL VERIFY LANDSCAPING MATCHES CURRENT PD-PLAN AT CONCLUSION OF CONSTRUCTION FOR MAJOR AMENDMENT.

GENERAL LANDSCAPING NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
2. STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.
3. THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
4. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
5. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6\"/>

APPROVED BY THE CITY OF COLUMBIA PLANNING AND ZONING COMMISSION THIS 20th DAY OF October, 2022.

SHARON DEUEA JONES, CHAIRPERSON

APPROVED BY CITY COUNCIL PURSUANT TO ORDINANCE # _____ ON THE _____ DAY OF _____, 2022.

BARBARA BUFFALO, MAYOR

ATTEST:

SHEELA AMIN, CITY CLERK

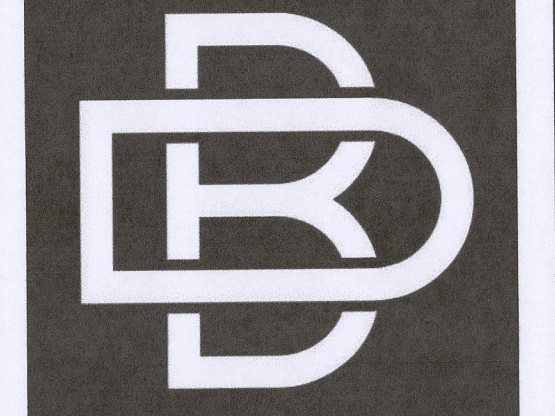
APPROVED AMENDMENT:

PLANTING LIST			
TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY PROVIDED	MATURE SIZE
SHRUBS (SH)			
GF	GOLDFLAME (SPIRAEA JAPONICA)	6	3' X 4'
GRASSES (GR)			
AJ	AUTUMN JOY SEDUM (SEDUM SPECTABILE)	11	1.5' X 1.5'
LT	LILYTURF (LIRIOPE MUSCARI)	11	1.5' X 1.5'

SHRUB PLANTING KEY	
	= (GF) GOLDFLAME
	= (AJ) AUTUMN JOY SEDUM
	= (LT) LILYTURF

TOTAL AREA PAVED AREA	= 1.68 ACRES
EXISTING CLIMAX FOREST AREA	= 43,850 SQFT
LANDSCAPING REQUIRED LANDSCAPING AREA PROVIDED	= 0
INTERIOR PARKING AREA: TREES REQUIRED	29-4.4(c)(2)(ii) = 1.68 ACRES * 0.15 = 10,980 SQFT = 14,650 SQFT
STREET FRONTAGE: LANDSCAPING STRIP REQUIRED MEDIUM TREES REQUIRED	29-4.4(f)(4) = 43,850 SQFT / 4,000 = 11
BUFFER YARD: TREES REQUIRED	29-4.4(d)(1) = 300 SQFT
5-8\"/>	

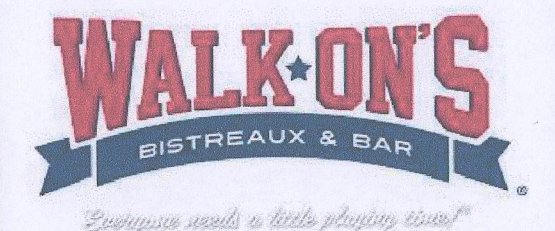
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BUXTON KUBIK DODD
DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65807
PHONE: 417.886.5543 FAX: 417.886.5503
MISSOURI CERTIFICATE OF AUTHORITY NO. A-200607284

PROJECT:
RENOVATION FOR



HOULIHAN'S PD PLAN
2541 BROADWAY BLUFFS DR
COLUMBIA, MISSOURI

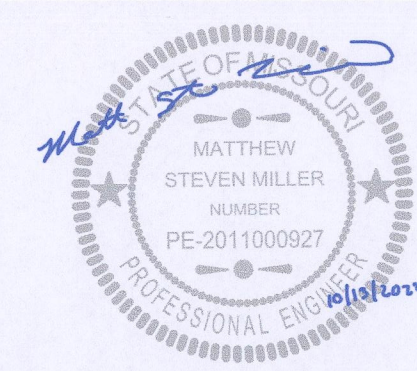
MODIFICATIONS:
REVISED PER CITY COMMENTS 10/13/22



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PD PLAN MAJOR AMENDMENT FOR
BLDC 2111-2022.



MATTHEW STEVEN MILLER - ENGINEER
MCM PE-201100927

Project No. Drawn By Date CAD File No.
BKD-2554.2 JHT 09/09/2022

C202
PD - LANDSCAPING PLAN

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H. SCALE: 1" = 20'