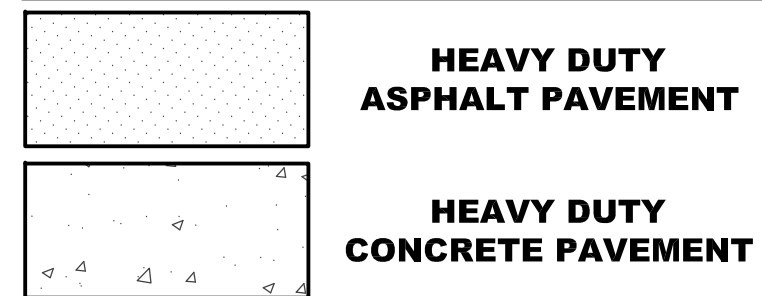


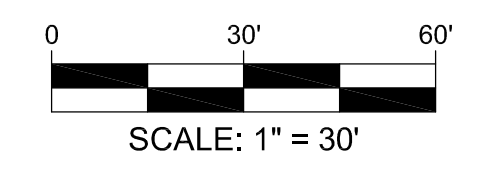
# PAVEMENT LEGEND



# RED OAK MARKETPLACE PD

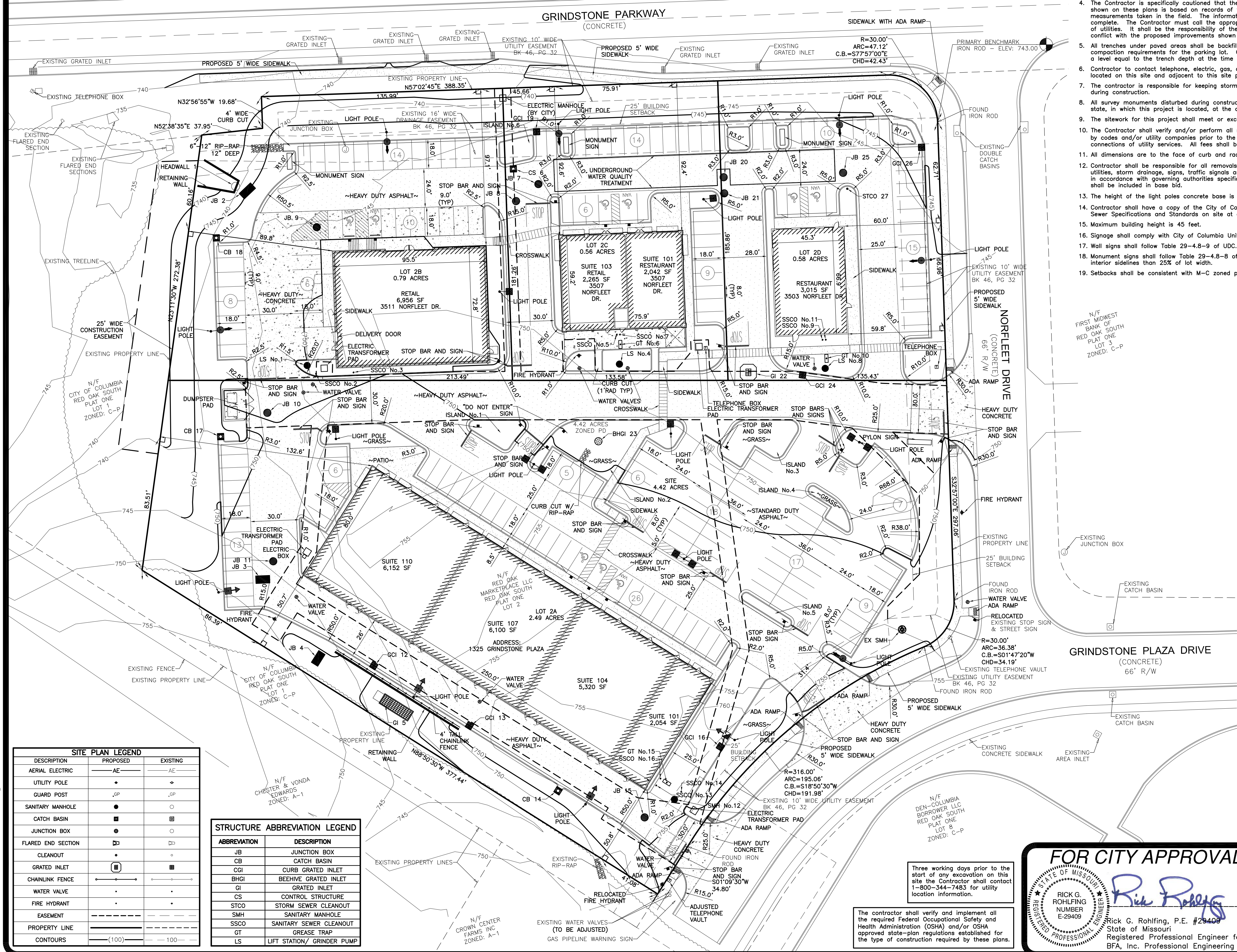
**SITE NOTES:**

- Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone and elevations referenced to NAVD 1988 per GPS observations utilizing the MoDOT VRS RTK Network.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.  
Primary Benchmark - Found Iron Rod at North corner of property. Elevation=743.00
- This site scales within Zone X, areas determined to be outside the 0.2% annual chance floodplain, as per Federal Emergency Management Agency Flood Insurance Rate Map No. 29019C0287E, Community Panel No. 287E, dated April 19, 2017.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
- The sitework for this project shall meet or exceed all applicable requirements.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- The height of the light poles concrete base is critical (see detail).
- Contractor shall have a copy of the City of Columbia's latest edition of the Street and Storm Sewer Specifications and Standards on site at all times during construction.
- Maximum building height is 45 feet.
- Signage shall comply with City of Columbia Unified Development Code (UDC).
- Wall signs shall follow Table 29-4.8-9 of UDC.
- Monument signs shall follow Table 29-4.8-8 of UDC. Monument signs cannot be nearer to the interior sidelines than 25% of lot width.
- Setbacks shall be consistent with M-C zoned property.



**NOTE:**  
Contractor is responsible for notifying the following agencies, as required, immediately prior to closure of street, during construction for inspections and again when work is complete and street is reopened.

Site Development (ROW Inspections)	874-7474
Building Safety (Plumbing/Building Inspections)	874-7474
Joint Communications (Emergency Services)	874-8471
Columbia Transit (City Buses)	874-7282
Parking Enforcement (Parking Meters)	874-7674
Public Works Street Division (Street Patching)	874-9289



**PLANNING AND ZONING'S CERTIFICATE:**  
Approved by the City of Columbia Planning and Zoning Commission this \_\_\_\_ day of \_\_\_\_\_, 2018.

Rusty Stradman, Chairperson

**CITY COUNCIL'S CERTIFICATE:**  
Approved by the Columbia City Council this \_\_\_\_ day of \_\_\_\_\_, 2018.

Brian Treece, Mayor

**SITE DATA**

LOT 2A	2.49 ACRES±
LOT 2B	0.79 ACRES±
LOT 2C	0.56 ACRES±
LOT 2D	0.58 ACRES±
<b>TOTAL AREA</b>	<b>4.42 ACRES±</b>

LAND USE: COMMERCIAL  
ZONING CLASSIFICATION: PD (PLANNED DEVELOPMENT)  
LOCAL JURISDICTION: CITY OF COLUMBIA, MISSOURI

**PARKING DATA**

<b>REQUIRED PARKING</b>	
RETAIL	1/300 S.F.
RESTAURANT	1/150 S.F.
LOT 2A	RETAIL (19,626 S.F.) 66 SPACES REQUIRED 107 SPACES PROVIDED
LOT 2B	RETAIL (6,956 S.F.) 24 SPACES REQUIRED 38 SPACES PROVIDED
LOT 2C	RETAIL (2,265 S.F.) 8 SPACES REQUIRED RESTAURANT (2,042 S.F.) 14 SPACES REQUIRED 22 SPACES REQUIRED 29 SPACES PROVIDED
LOT 2D	RESTAURANT (3,015 S.F.) 21 SPACES REQUIRED 29 SPACES PROVIDED

**SITE PLAN LEGEND**

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	AE	AE
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	○	○
CATCH BASIN	■	■
JUNCTION BOX	□	□
FLARED END SECTION	◐	◐
CLEANOUT	•	•
GRATED INLET	■	■
CHANLINK FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---
CONTOURS	---	---

**STRUCTURE ABBREVIATION LEGEND**

ABBREVIATION	DESCRIPTION
JB	JUNCTION BOX
CB	CATCH BASIN
CGI	CURB GRATED INLET
BHGI	BEEHIVE GRATED INLET
GI	GRATED INLET
CS	CONTROL STRUCTURE
STCO	STORM SEWER CLEANOUT
SMH	SANITARY MANHOLE
SSCO	SANITARY SEWER CLEANOUT
GT	GREASE TRAP
LS	LIFT STATION/ GRINDER PUMP

**Red Oak Marketplace, LLC**  
**RED OAK MARKETPLACE PD**  
1325 Grindstone Plaza Drive  
Columbia, Boone County  
Missouri, 65201

**REVISIONS**

1	By: _____	App: _____
2	By: _____	App: _____
3	By: _____	App: _____
4	By: _____	App: _____

**OWNER**  
RED OAK MARKETPLACE, LLC  
709 Hwy 28, PO Box 39  
Belle, MO 65013

**CITY PROJECT #18-20**

DRAWN  
B.L.P., J.J.M.  
CHECKED  
R.G.R.  
DATE  
01/03/18  
SCALE  
1"=30'  
JOB NO.  
4137  
SHEET NAME  
RED OAK  
MARKETPLACE PD

**FOR CITY APPROVAL ONLY**

RICK G. ROHLFING, P.E. #29409  
State of Missouri  
Registered Professional Engineer for  
BFA, Inc. Professional Engineering Corporation #000472

01/03/2018

E-Mail: mail@bfaeng.com TELEPHONE: (636) 239-4751

**BFA**  
CONSULTANTS-ENGINEERS-SURVEYORS  
www.bfaeng.com

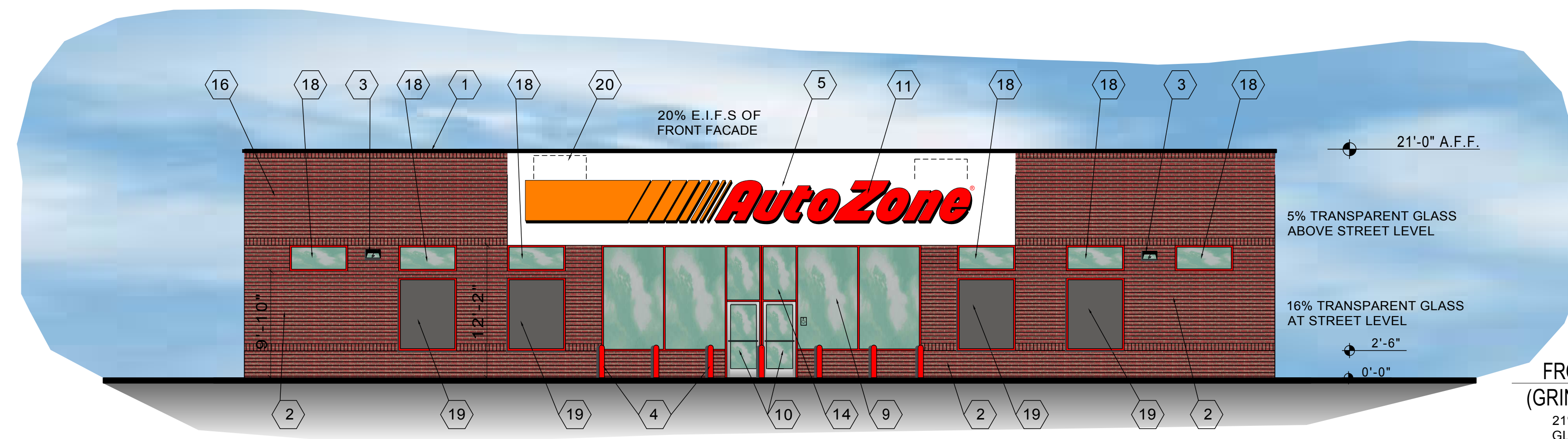
103 ELM STREET WASHINGTON, MISSOURI 63090

ST-1

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



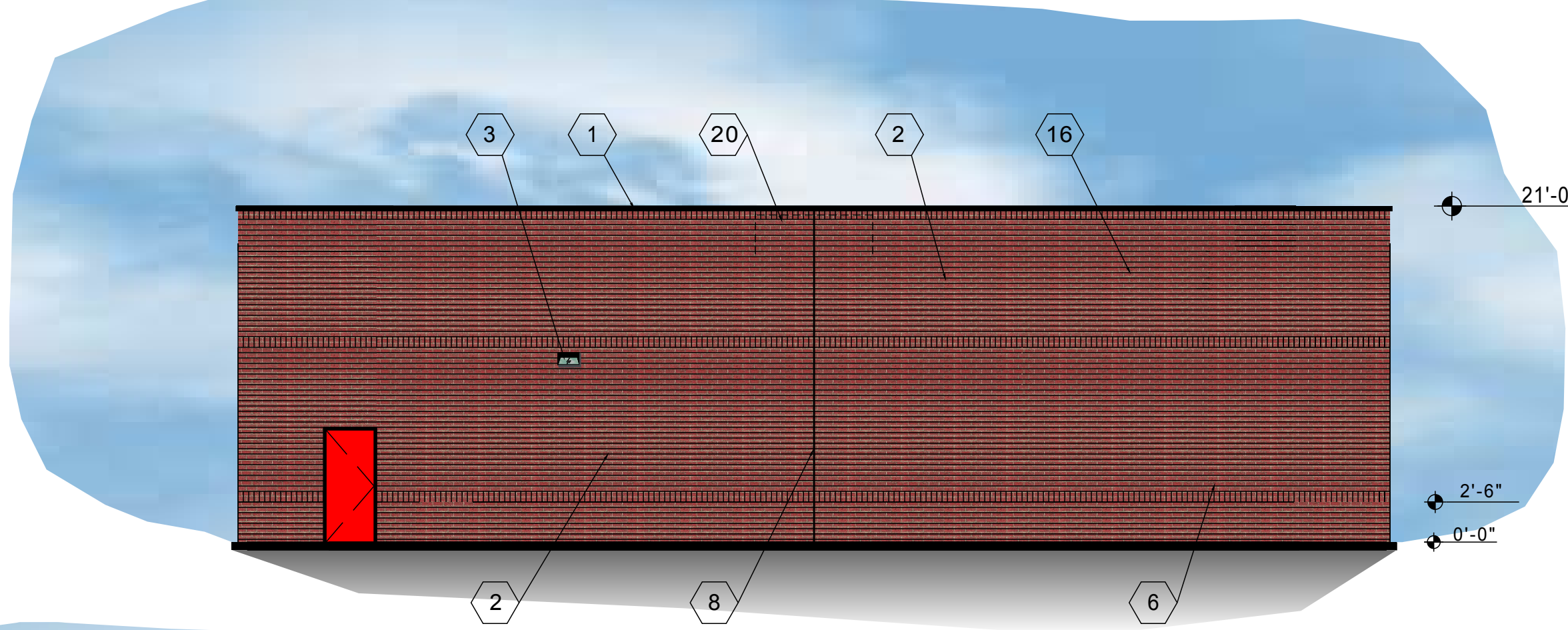


**FRONT ELEVATION**  
(GRINDSTONE PKWY.)

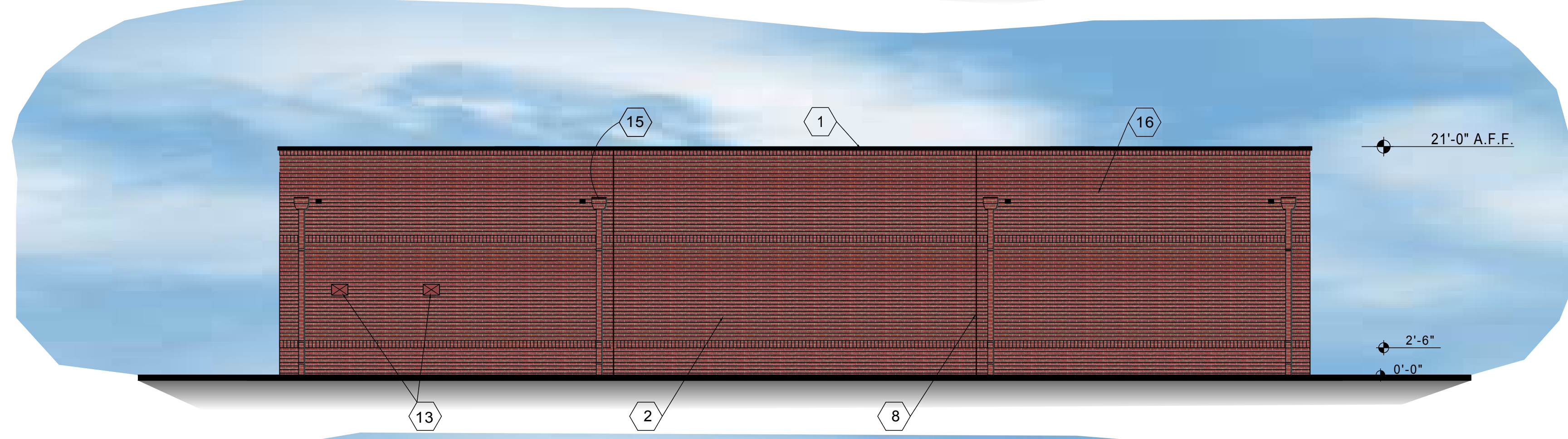
21% TRANSPARENT GLASS FACING PUBLIC STREET

NOTE: BLACKED OUT WINDOWS UNABLE TO BE TRANSPARENT DUE TO INTERIOR STORE FUNCTION AND LAYOUT.

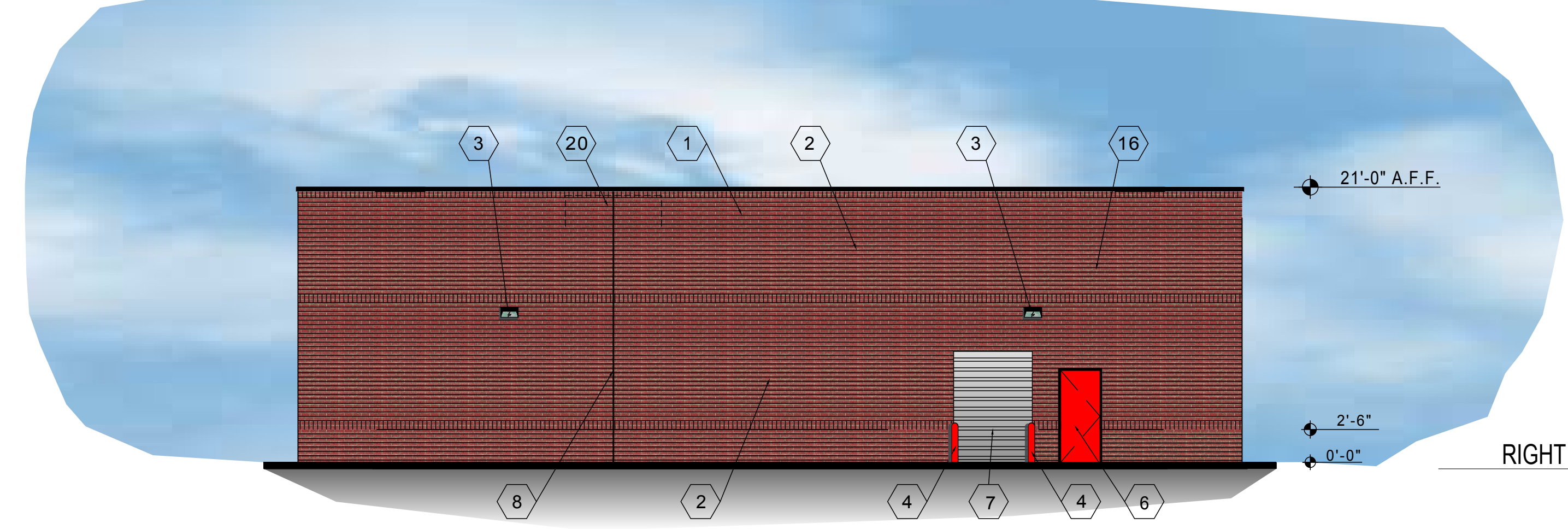
- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 BRICK VENEER UNITS
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" CHANNEL LSTRP
- 12 NOT USED
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOW LINE 2" ABOVE ROOF
- 16 BOND BEAM AT ROOF LINE
- 17 NOT USED
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS
- 20 HVAC UNITS SCREENED BY PARAPET



**LEFT ELEVATION**



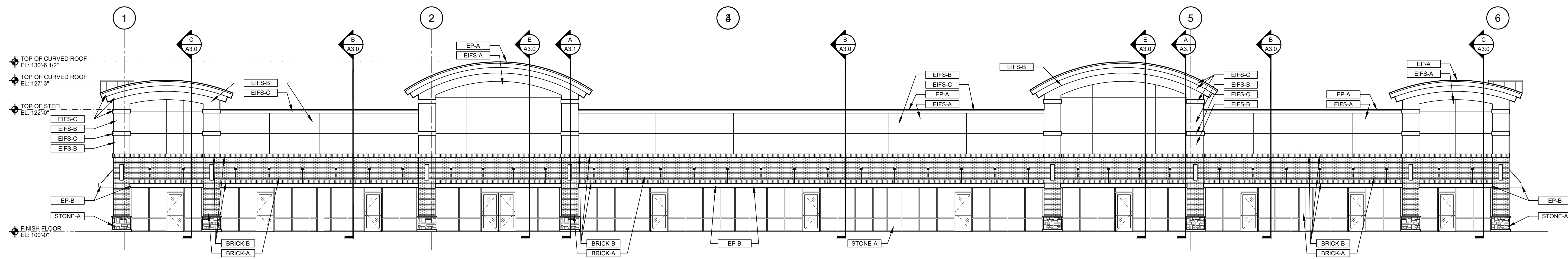
**REAR ELEVATION**



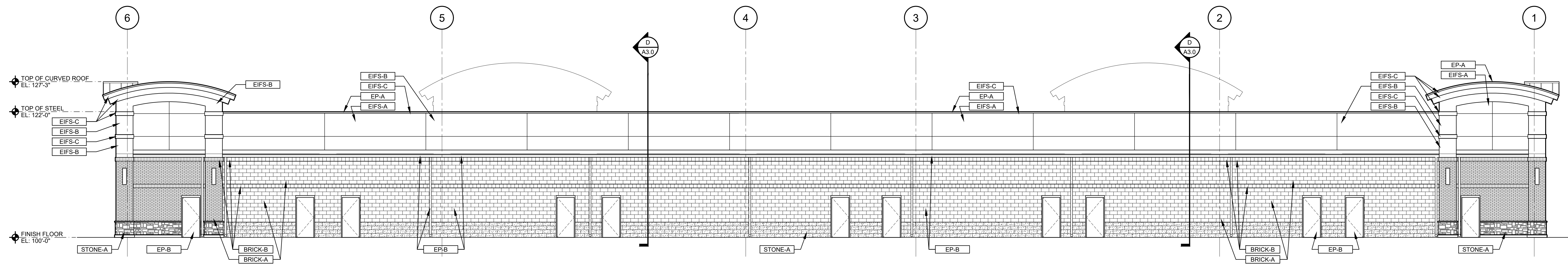
**RIGHT ELEVATION**

Color Elevation  
AutoZone Store #6058  
Columbia, MO

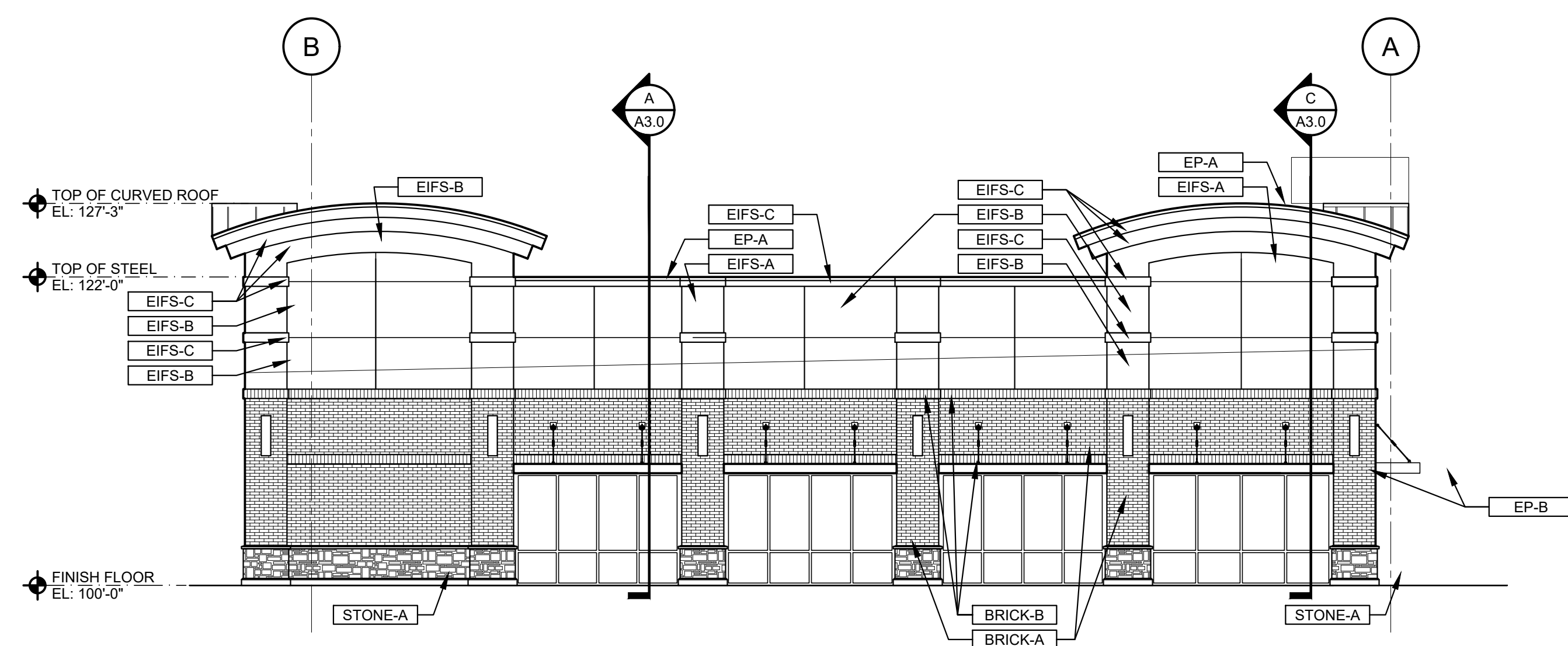




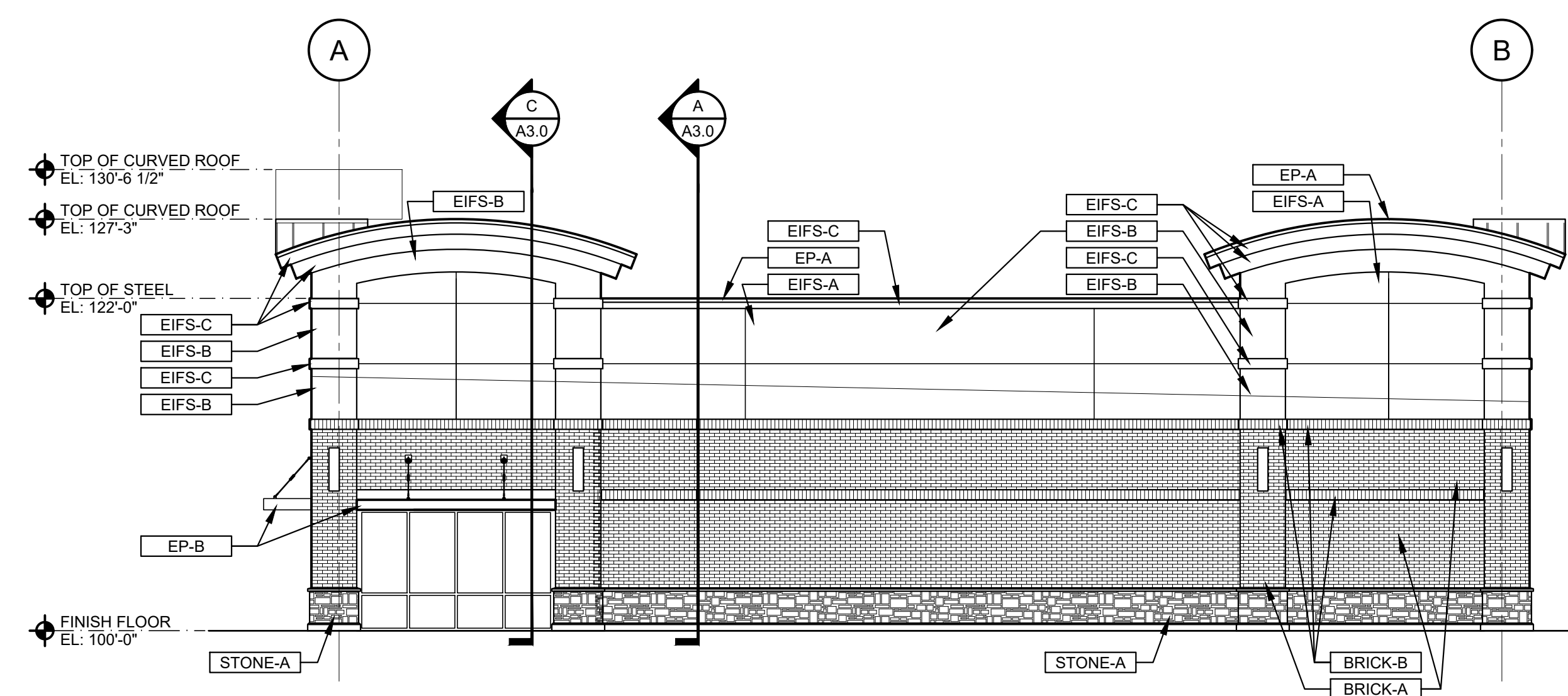
**1 FRONT ELEVATION**  
 A2.0 SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**  
 A2.0 SCALE: 1/8" = 1'-0"



**3 LEFT ELEVATION**  
 A2.0 SCALE: 1/8" = 1'-0"



**4 RIGHT ELEVATION**  
 A2.0 SCALE: 1/8" = 1'-0"

**EXTERIOR PAINT & FINISH SCHEDULE**

CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EIFS-A	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
EIFS-B	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
EIFS-C	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
BRICK-A	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
BRICK-B	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
STONE-A	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAINT TO MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

PROJECT: AMERICAN REALTY SHOPPING CENTER  
 GRINDSTONE PARKWAY AT NORFLEET DRIVE  
 COLUMBIA, MO 65215

COUNTY: BOONE COUNTY

REVISIONS

NO.	DATE	DESCRIPTION

**NOT FOR CONSTRUCTION**

PROFESSIONAL OF RECORD

Project No: **917472**  
 Permit Date: 03/15/17 Bid Date: X  
 Scale: SHEET TITLE

**EXTERIOR ELEVATIONS BLDG 'A'**  
 SCALE: VARIES (DO NOT SCALE DRAWINGS)

SHEET NUMBER  
**A2.0**



REVISIONS	

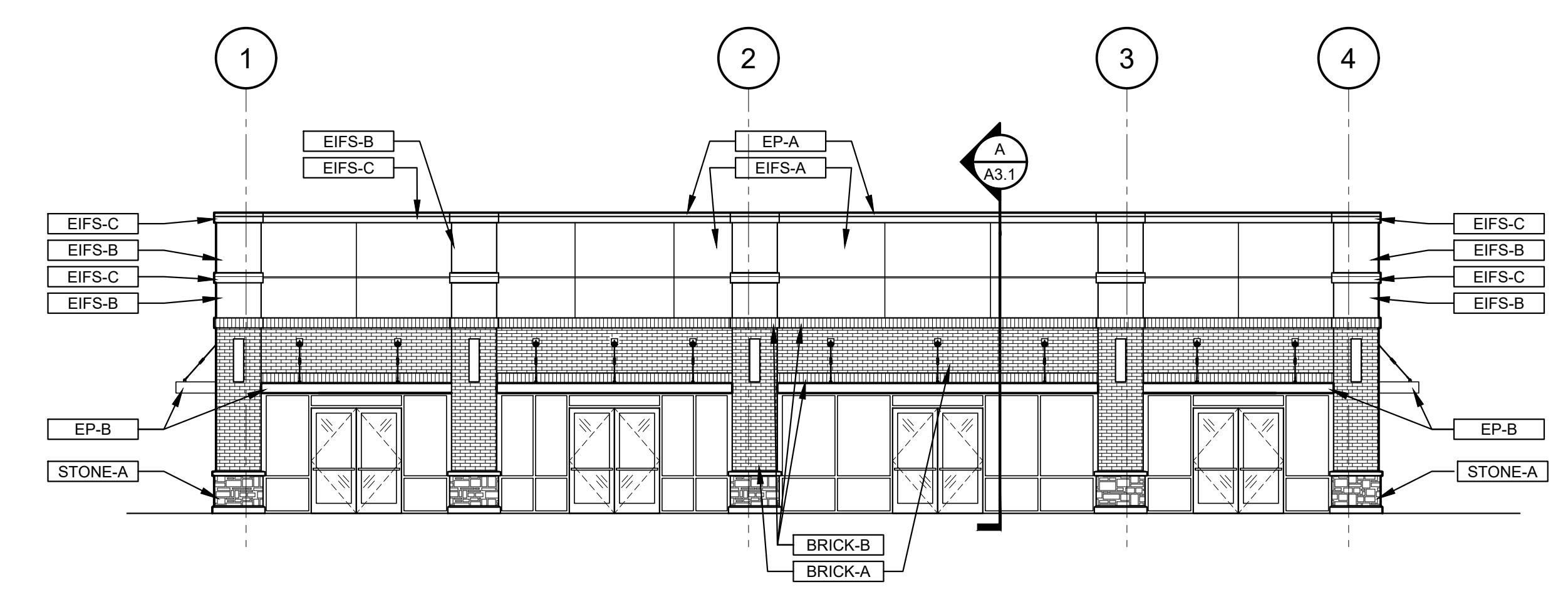
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PROFESSIONAL OF RECORD

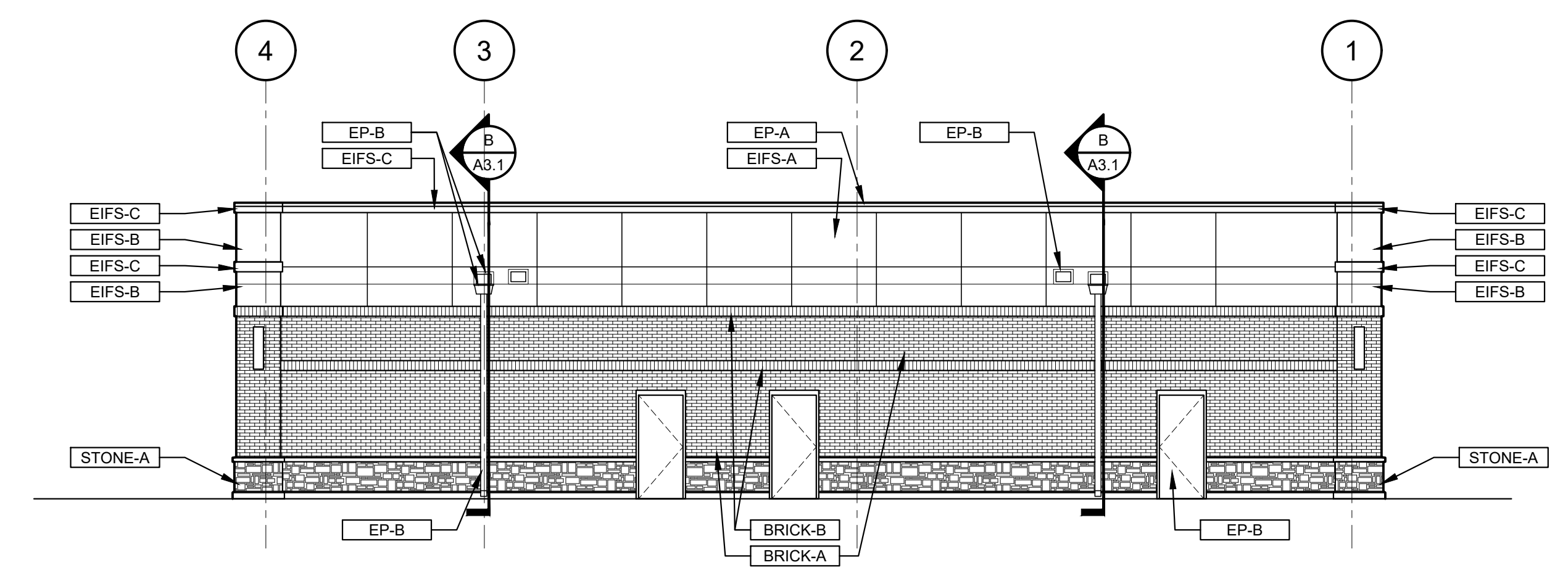
Project No: **917472**  
 Permit Date: 03/15/17 Bid Date: X  
 Scale: SHEET TITLE

**EXTERIOR ELEVATIONS BLDG 'B'**  
 SCALE: VARIES (DO NOT SCALE DRAWINGS)

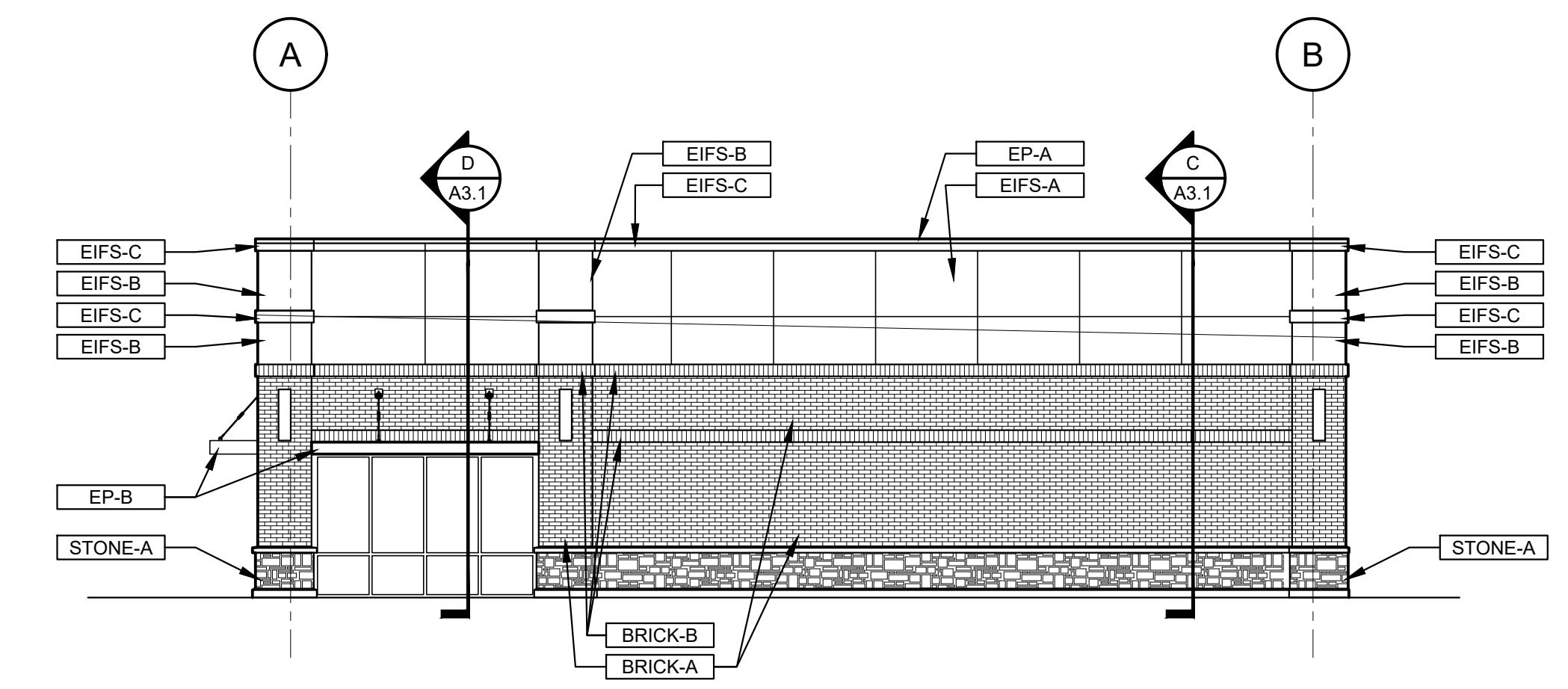
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**A2.1**



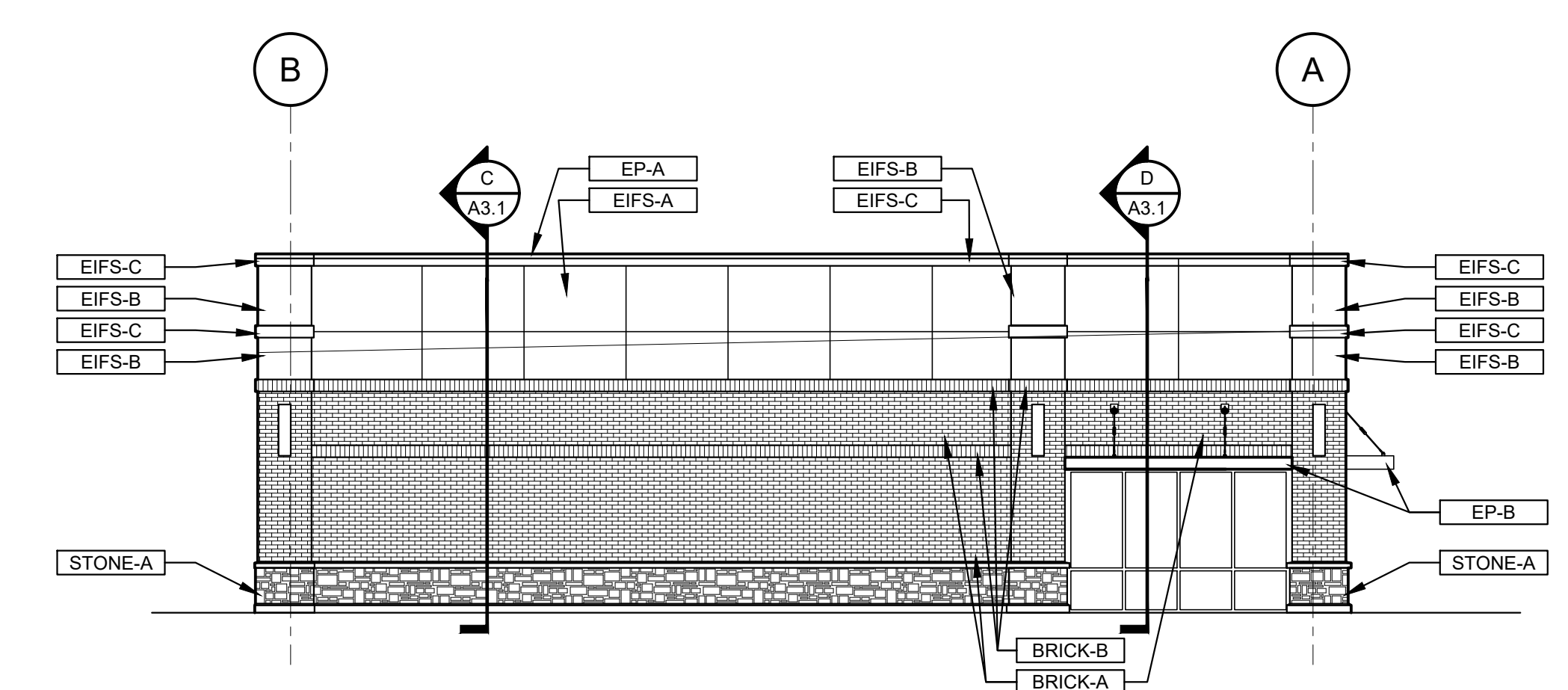
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 SCALE: 1/8" = 1'-0"



**2 REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

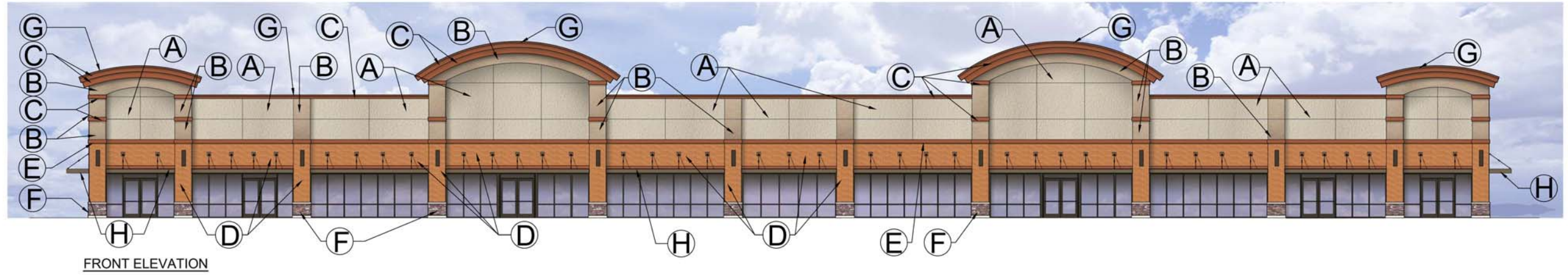


**3 RIGHT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 LEFT ELEVATION**  
 SCALE: 1/8" = 1'-0"

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EIFS-A	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
EIFS-B	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
EIFS-C	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
BRICK-A	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
BRICK-B	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
STONE-A	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAINT TO MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	



A-DRYVIT #455a PEARL



D-BRICK #100 BURNT PUMPKIN



F-STONE TORINO



B-DRYVIT #399 COFFEE MILK



E-BRICK #106 DENVER CLARET



G-METAL McELROY METAL - AUTUMN RED



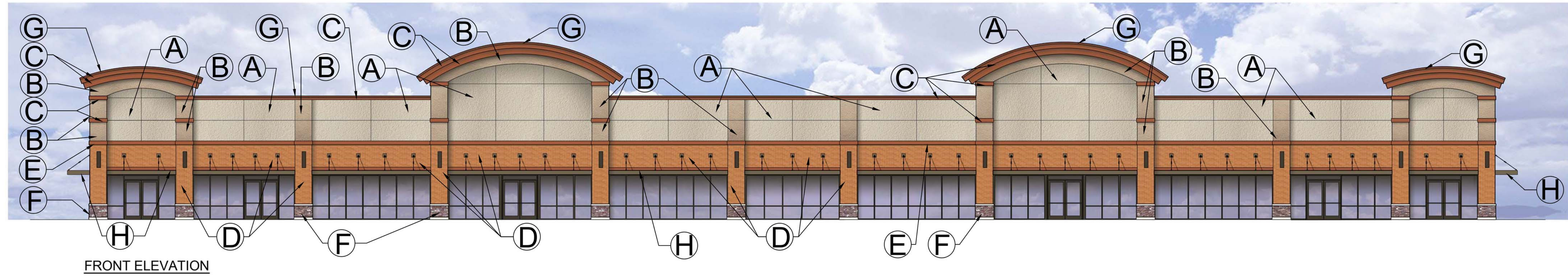
C-DRYVIT #357a SAND DOLLAR

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
A-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
B-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
C-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
D-BRICK	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
E-BRICK	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
F-STONE	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
G-METAL	METAL COPING, STANDING SEAM METAL ROOF		McELROY METAL - AUTUMN RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

AMERICAN REALTY SHOPPING CENTER  
GRINDSTONE PARKWAY AT NORFLEET DRIVE  
COLUMBIA, MO



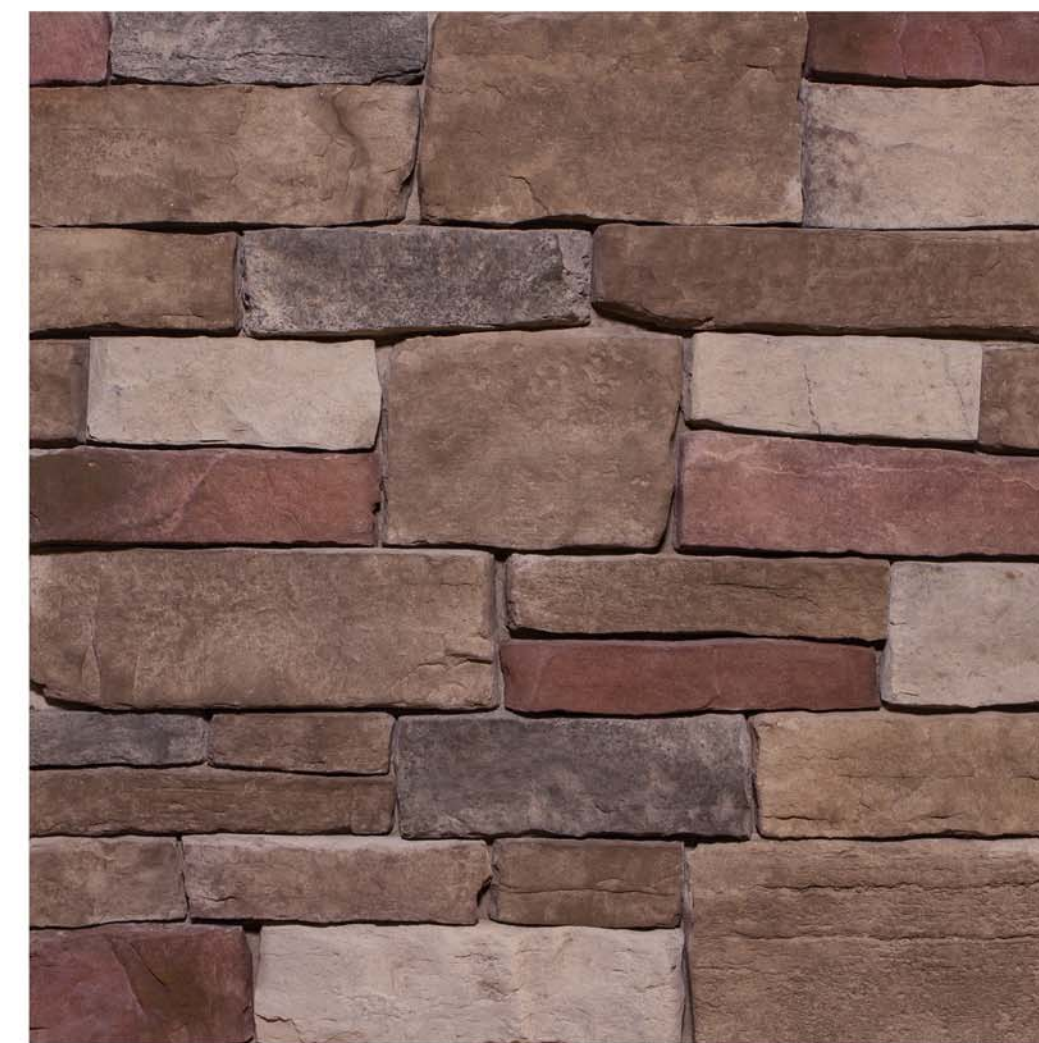




A-DRYVIT #455a PEARL



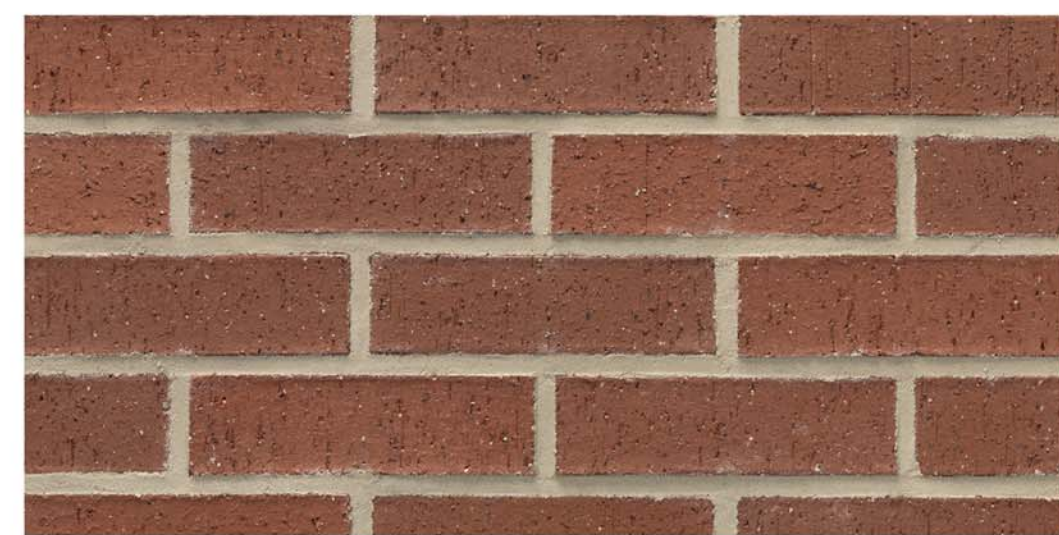
D-BRICK #100 BURNT PUMPKIN



F-STONE TORINO



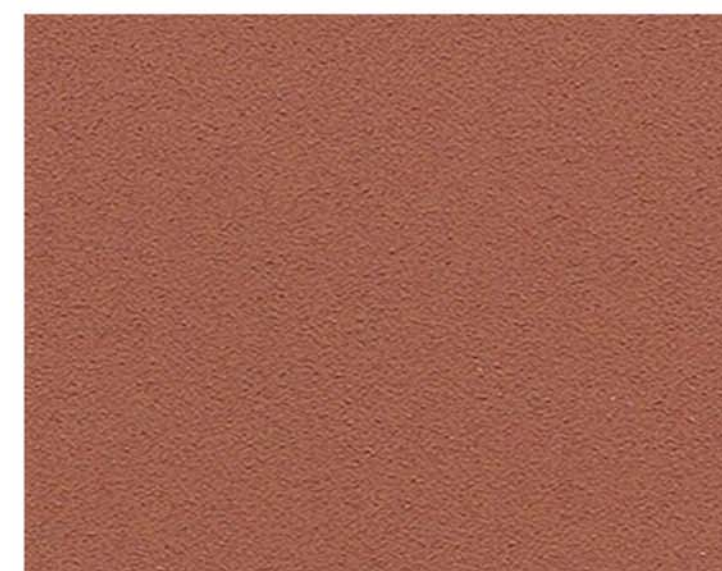
B-DRYVIT #399 COFFEE MILK



E-BRICK #106 DENVER CLARET



G-METAL McELROY METAL - AUTUMN RED



C-DRYVIT #357a SAND DOLLAR

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
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B-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
C-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
D-BRICK	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
E-BRICK	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
F-STONE	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
G-METAL	METAL COPING, STANDING SEAM METAL ROOF		McELROY METAL - AUTUMN RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

AMERICAN REALTY SHOPPING CENTER  
GRINDSTONE PARKWAY AT NORFLEET DRIVE  
COLUMBIA, MO





**EXTERIOR ELEVATIONS KEYED NOTES**

- 1 SIGNAGE SHOWN IS FOR SCHEMATIC USE ONLY - SIGANCE SUBMITTED UNDER SEPARATE PERMIT
- 2 Q-LIGHT RAIL - PROVIDED BY VENDOR / INSTALLED BY VENDOR
- 3 "Q" GRAPHIC AND "Q" SCREEN BY VENDOR - SIGANCE SUBMITTED UNDER SEPARATE PERMIT
- 4 SUSPENDED WINDOW SIGN(S) SHOWN ARE FOR SCHEMATIC USE ONLY. COORDINATE WITH CM AND SIGNAGE SHOP DRAWINGS, TYP.
- 5 STREET-ART SCREEN - VENDOR PROVIDED/CONTRACTOR INSTALLED - SEE VENDOR SHOP DWGS.
- 6 GC TO PROVIDE & INSTALL RECESSED REMOTE CO2 FILL AT EXTERIOR WALL - COORDINATE LOCATION WITH QDOBA CM.
- 7 GC TO PAINT GAS METER TO MATCH ADJACENT FINISH.
- 8 GC TO PAINT ELECTRIC PANELS TO MATCH ADJACENT FINISH.
- 9 OVERFLOW NOZZLE - 18" ABOVE GRADE - REFER TO PLUMBING

GC TO PROVIDE PLASTIC COMPONENTS EIFS "M" CONTROL JOINT (2138XS), OR EQUAL, AT ALL EIFS CONTROL JOINTS AND PAINT TRANSITIONS.

EXTERIOR FINISHES			NAT'L ACCT.	RESPONSIBILITY PROVIDE	INSTALL
TAG	DESCRIPTION	NOTES	T	GC	GC
CMU-1	Mfg: TRENDSSTONE - MIDWEST SELECTION MATERIAL: GROUND FACED CMU SIZE: 8 x 8 x 16 COLOR: LANDERS BAY GROUT: NOTES: RUNNING BOND	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION	X	GC	GC
EIFS-1	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA NAVY NOTES: BM NEW PROVIDENCE NAVY 1651	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
EIFS-2	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA BROWN NOTES: BM FALCON BROWN 1238	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
EIFS-3	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA LIGHT TAUPE NOTES: BM STRAW HAT 270	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
RS-1	Mfg: BERRIDGE OR EQUAL MATERIAL: HR-16 METAL WALL PANEL SIZE: 2-1/2" X 8" COLOR: ZINC GRAY NOTES: ROOF TOP EQUIPMENT SCREENING	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC
SF-1	Mfg: KAWNEER OR EQUAL MATERIAL: ALUMINUM COLOR: CLEAR ANODIZED NOTES:	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC



TRANSPARENCY SCHEDULE  
NORTH ELEVATION  
884 SQ FT = TOTAL BUILDING SIDE  
172 SQ FT = 20% TRANSPARENCY REQUIRED  
273 SQ FT = PROPOSED / 91 SQ FT (EA)  
STOREFRONT

6 FRONT ELEVATION (NORTH)

Scale: 1/4" = 1'-0"



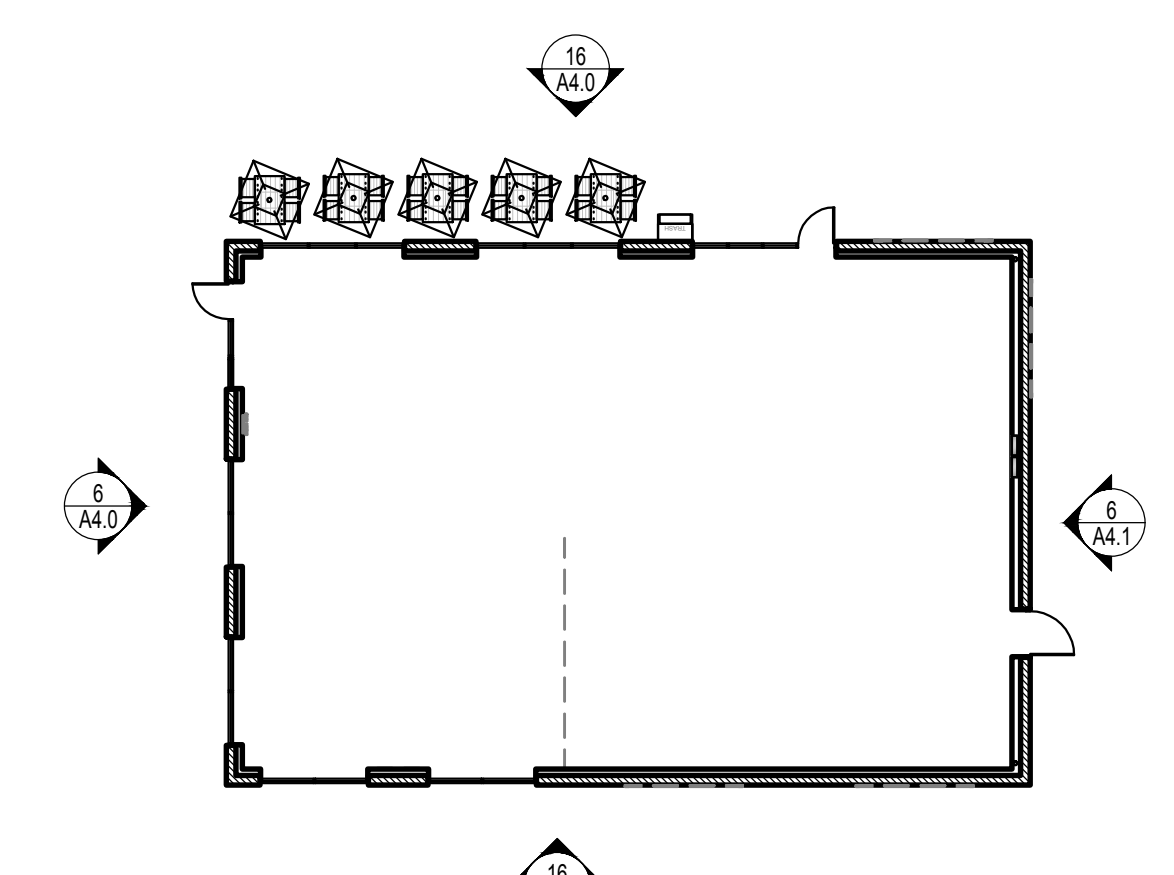
TRANSPARENCY SCHEDULE  
EAST ELEVATION  
1312 SQ FT = TOTAL BUILDING SIDE  
263 SQ FT = 20% TRANSPARENCY REQUIRED  
363 SQ FT = PROPOSED / 121 SQ FT (EA)  
STOREFRONT

16 SIDE ELEVATION (EAST)

Scale: 1/4" = 1'-0"

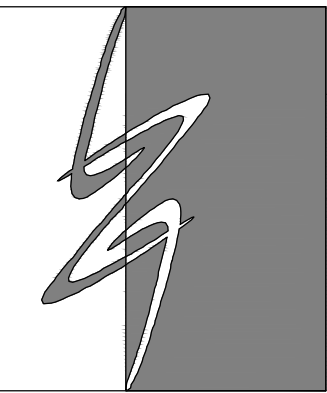
EXTERIOR ELEVATIONS KEY PLAN

Scale: N.T.S.



QDOBA  
7244 W. BONIFILS LANE  
LAKEWOOD, CO 80226

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LingleDesignGroup, Inc  
158 West Main Street, Lena, IL 61048  
1860 W. Evans Ave., Englewood, CO 80110  
Phone: 815-369-9155  
Fax: 815-369-4495  
www.lingledesign.com

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**DATES**

RELEASE: 12/29/17  
P.M. UPDATES: -  
SUBMITTAL DATE:  
1: 01/03/18  
2: 01/04/18  
3: -  
BID: -  
CONSTRUCTION: -

**REVISIONS**

△ -  
△ -  
△ -  
△ -  
△ -  
△ -

These drawings attached are intended to assist the architect in preparing site-adapt construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

**SITE INFORMATION**

QME #: 00XXXX  
ADDRESS:  
COLUMBIA, MO  
401 GRINDSTONE PLAZA  
DRAWN BY: KBB  
PROJECT #: 17-0946  
SCALE: 1/4" = 1'-0"

**EXTERIOR ELEVATIONS**

**A4.0**



**EXTERIOR ELEVATIONS KEYED NOTES**

- ① SIGNAGE SHOWN IS FOR SCHEMATIC USE ONLY - SIGNAGE SUBMITTED UNDER SEPARATE PERMIT
- ② Q-LIGHT RAIL - PROVIDED BY VENDOR / INSTALLED BY VENDOR
- ③ 'Q' GRAPHIC AND 'Q' SCREEN BY VENDOR - SIGNAGE SUBMITTED UNDER SEPARATE PERMIT
- ④ SUSPENDED WINDOW SIGN(S) SHOWN ARE FOR SCHEMATIC USE ONLY. COORDINATE WITH CM AND SIGNAGE SHOP DRAWINGS, TYP.
- ⑤ STREET-ART SCREEN - VENDOR PROVIDED/CONTRACTOR INSTALLED - SEE VENDOR SHOP DWGS.
- ⑥ GC TO PROVIDE & INSTALL RECESSED REMOTE CO2 FILL AT EXTERIOR WALL - COORDINATE LOCATION WITH QDOBA CM.
- ⑦ GC TO PAINT GAS METER TO MATCH ADJACENT FINISH.
- ⑧ GC TO PAINT ELECTRIC PANELS TO MATCH ADJACENT FINISH.
- ⑨ OVERFLOW NOZZLE - 18" ABOVE GRADE - REFER TO PLUMBING

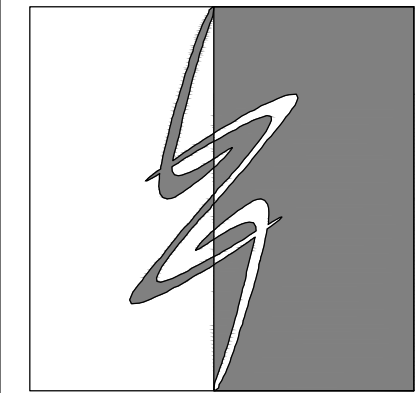
GC TO PROVIDE PLASTIC COMPONENTS EIFS "M" CONTROL JOINT (2138XS), OR EQUAL, AT ALL EIFS CONTROL JOINTS AND PAINT TRANSITIONS.

EXTERIOR FINISHES				NAT'L ACCT.	RESPONSIBILITY	INSTALL
TAG	DESCRIPTION	NOTES				
CMU-1	Mfg: TRENDSTONE - MIDWEST SELECTION MATERIAL: GROUND FACED CMU SIZE: 8 x 8 x 16 COLOR: LANDERS BAY GROUT: NOTES: RUNNING BOND	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION	X	GC	GC	
EIFS-1	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA NAVY NOTES: BM NEW PROVIDENCE NAVY 1651	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC	
EIFS-2	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA BROWN NOTES: BM FALCON BROWN 1238	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC	
EIFS-3	Mfg: LOCAL MATERIAL: EIFS COLOR: QDOBA LIGHT TAUPE NOTES: BM STRAW HAT 270	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC	
RS-1	Mfg: BERRIDGE OR EQUAL MATERIAL: HR-16 METAL WALL PANEL SIZE: 2-1/2" X 8" COLOR: ZINC GRAY NOTES: ROOF TOP EQUIPMENT SCREENING	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC	
SF-1	Mfg: KAWNEER OR EQUAL MATERIAL: ALUMINUM COLOR: CLEAR ANODIZED NOTES:	EXTERIOR FINISHES BY OTHERS WITH BASE SHELL CONSTRUCTION		GC	GC	



QDOBA  
7244 W. BONIFILS LANE  
LAKEWOOD, CO 80226

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**PRELIMINARY  
NOT FOR CONSTRUCTION**

**DATES**

RELEASE: 12/29/17  
P.M. UPDATES: -  
SUBMITTAL DATE:  
1: 01/03/18  
2: 01/04/18  
3: -  
BID: -  
CONSTRUCTION: -

**REVISIONS**

△ -  
△ -  
△ -  
△ -  
△ -  
△ -

These drawings attached are intended to assist the architect in preparing site-adapt construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

**SITE INFORMATION**

QME #: 00XXXX  
ADDRESS:  
COLUMBIA, MO  
401 GRINDSTONE PLAZA  
DRAWN BY: KBB  
PROJECT #: 17-0946  
SCALE: 1/4" = 1'-0"

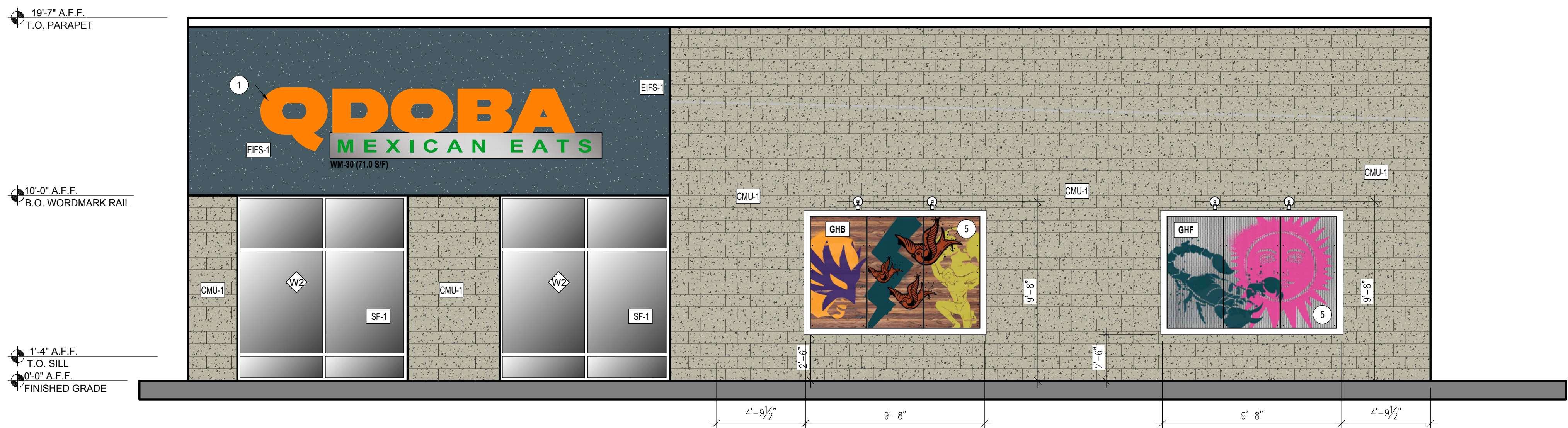
**EXTERIOR ELEVATIONS**

**A4.1**



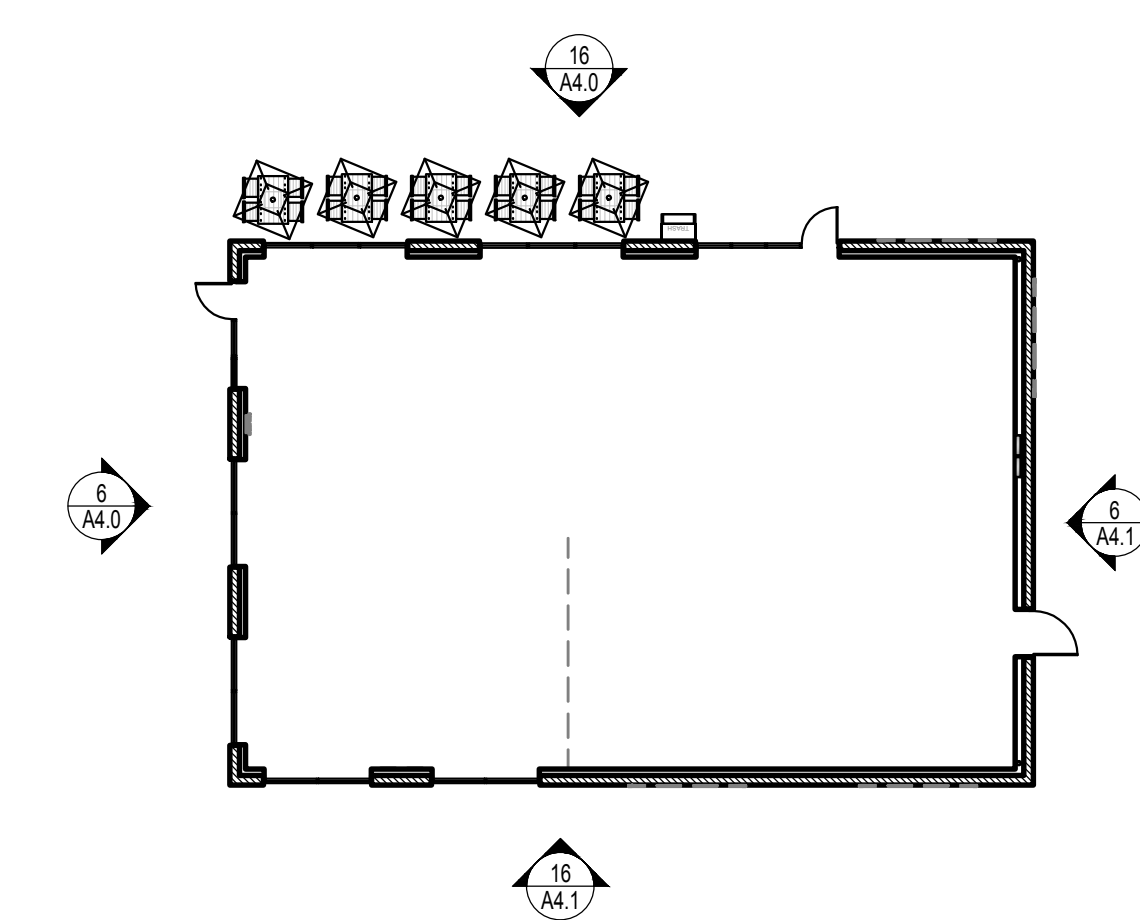
**6 REAR ELEVATION (SOUTH)**

Scale: 1/4" = 1'-0"



**16 SIDE ELEVATION (WEST)**

Scale: 1/4" = 1'-0"



**EXTERIOR ELEVATIONS KEY PLAN**

Scale: N.T.S.