

BOARD OF ADJUSTMENT – APPLICATION FOR A VARIANCE

TO: BOARD OF ADJUSTMENT
Community Development Department
City Hall, 701 E. Broadway, Columbia, Missouri 65201

SUBJECT: Request for approval of a variance from requirements of the Unified Development Code on the following described property located in the City of Columbia, County of Boone, State of Missouri (legal description):

A tract of land located in the NW quarter of section 13, Township 48 north, range 13 west, Columbia, Boone county, Missouri and being part of Lot 1 of University Centre Subdivision recorded in plat book 54, page 2 and the warranty deed recorded in book 1426, page 295.

which is presently zoned M-DT / Mixed Use Downtown and known, or to be known, as 7Brew, S. Providence Rd. (Street Number and Name)

County Assessor's 14 Digit Real Estate Tax Number: 16-607-00-08-0001.00

Notice is hereby given that Applicant(s) requests a variance with respect to the above described property from the Decision of Clinton Smith, Senior Planner, Community Development

On the 8th day of November, 2022 said official did deny request to submit a building permit application

The reason given for such action was that the property is located in a zoning district that does not allow for the type of business and construction design that 7Brew has proposed.

which does not comply with Section 29-4.2 (d,e2,f), 29-4.3; Appx.A.10, Code of Ordinances of the City of Columbia, Missouri, which Section provides or requires that the 7Brew development project conform to General Building Standards, Urban General West Frontage standards, Urban Space Standards, and Parking and Loading standards.

A copy of the letter of said official is hereto attached.

There are practical difficulties or unnecessary hardships, or both, in the way of carrying out the strict letter of the Ordinance because (all claims shall be justified by supporting documentation. Add additional pages or provide separate letter for response) Please see attached letter of response.

If the Board of Adjustment varies or modifies the application of the Ordinance as requested. nevertheless there will be a substantial compliance with the Unified Development Code, the spirit of the Unified Development Code will be observed, public safety and welfare will be secured, and substantial justice will be done because (applicant shall fully respond to "Criteria for Approval" as shown in Section 29-6.4(d)(3)(i). All claims to be justified by supporting documentation. Add additional pages or provide separate letter for response)

Applicant(s) requests that the Board of Adjustment vary or modify the application of the Ordinance to the above described property to the extent indicated, and that 7Brew be granted the 9 variances identified in the letter of denial.

1/3/2023
DATE

SIGNATURE(S) Daniel E. Wagner III
PRINTED NAME Daniel E. Wagner III
ADDRESS 211 N. Stadium Blvd, Ste 201, Columbia, MO
TELEPHONE 573-449-5323

CAPACITY OR INTEREST IN PROPERTY Attorney for Trk & St. Peter's Shopping Center, LLC

This application is hereby acknowledged as being received for Board of Adjustment consideration by:

COMMUNITY DEVELOPMENT DIRECTOR OR DESIGNEE Patrick R. Zemanor
DATE 11/4/2023



## RESPONSE LETTER TO REVIEW COMMENTS

To: Clint Smith  
City PN: PRNR202203806  
Date: December 20, 2022  
No. of Pages: 3  
(Including this one)

Arch PN: 22039 7BCM  
Project: 7 Brew – Columbia, MO  
Address: 209 S. Providence Road

Subject: Denial Letter, City of Columbia, dated 11/8/22 from Columbia,  
MO  
Community Development

### Variances:

1. Based upon reviews of the color renderings of the site, the proposed construction will be elevated above the average grade of the fronting sidewalk greater than the maximum 18 inches permitted per Section 29-4.2(e)(2)(ii)(B)(1)(a).

#### **Response:**

**1. Please refer to response letter from Toth & Associates.**

2. Ground story fenestration does not comprise between 33% and 80% of the ground story façade. Section 29-4.2(e)(2)(iv)(A)(2).

#### **Response:**

**2. Variance requested for this. We are currently providing 24%, which would be the maximum that we can feasibly do since the façade is small and we already have as much glazing as possible due to the kitchen equipment that's located behind the front wall.**

3. The proposed building location does not result in at least 35% of the building façade being constructed to the required building line (RBL) as required by Section 29-4.2(e)(2)(iii)(A)(1). This proposed location is greater than the 60 inches allowed to accommodate building articulation allowed by Section 29-4.2(d)(6)(3)(A).

#### **Response:**

**3. Variance requested for this. Building to the required building line would not be possible because of utility easements as well as it would impede the drive-thru lane from being usable.**



## RESPONSE LETTER TO REVIEW COMMENTS

4. A street wall at the RBL is required to screen surface parking lots. Section 29-4.2(e)(2)(ii)(D)

**Response:**

**4. Variance requested for this. Building to the required building line would not be possible because of utility easements as well as it would impede the drive-thru lane from being usable.**

5. Each façade composition, regardless of the number of bays such composition may have, shall include a functioning street entry door. Section 29-4.2(d)(2)(iii).

**Response:**

**5. Variance requested for this. An entry door would not be possible due to the kitchen equipment that's located behind the front wall.**

6. Based upon the submitted elevation drawings it is unclear if the Ground Story clear height of 12 feet for the first 25 feet of building depth has been met as required by Section 29-4.2(e)(2)(ii)(B)(1)(b).

**Response:**

**6. Variance requested for this. Canopy is located 8'4" A.F.F.**

7. While the plans submitted are not to scale, it is assumed from prior conversations that the plans will include the same requests for relief from the Urban Space Standards as sought for the property that abuts this site to the north. Relief from the following provisions of Section 29-4.2(f) and Appendix A.10 shall be required for the following Urban Space Standards:

a. Section 29-4.2(f)(2)(i)(A) and Appendix A.10(c)(2) requires street tree to be planted in the centerline of the tree lawn or not less than three (3) feet from the back of the curb, within the public right of way. In addition, other standards, such as the requirement that street trees be at grade or not greater than six inches about the sidewalk may apply, but the need for relief cannot be determined from the submitted drawings. Please review this entire section upon your application to determine if you will need to request additional relief;

b. Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(i) and (ii) requires streetlight installation in the public right of way;

c. Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(iii) requires sidewalk installation consistent with street type specifications. The existing City Public Works Downtown Sidewalk detail requires a minimum 10-foot sidewalk be installed.

**Response:**

**7. Please refer to response letter from Toth & Associates.**



## RESPONSE LETTER TO REVIEW COMMENTS

8. A bypass lane around the drive-through facility stacking lanes has not been provided. Section 29-4.3(i)(2)(vi).

**Response:**

**8. Please refer to response letter from Toth & Associates.**

9. Site exceeds the maximum number of parking spaces per Section 29-4.3(e)(1). The minimum required number of spaces is 3, the maximum is 5, and the provided parking is 14.

**Response:**

**9. Please refer to response letter from Toth & Associates.**

Sincerely,

A handwritten signature in cursive script that reads "Ashley Feliu".

Ashley Feliu  
Project Manager

Date: December 20, 2022

December 16, 2022

RE: Seven Brew Coffee – Columbia (209 S Providence Road) – Comments dated 11-8-2022

Please accept this letter as our response to the denial letter provided by the City of Columbia pertaining to violations of the provision of the Sec. 29-4.2 M-D FORM BASED CONTROLS and Appendix A.10 URBAN SPACE STANDARDS of the Unified Development Code. For your convenience, City comments have been provided in *italics* and our response in *blue*.

### **VariANCES**

*1. Based upon reviews of the color renderings of the site, the proposed construction will be elevated above the average grade of the fronting sidewalk greater than the maximum 18 inches permitted per Section 29-4.2(e)(2)(ii)(B)(1)(a).*

Response: Due to the existing topography of the site, it will not be possible to comply with this requirement. Site grades slopes from approximately 718' elevation at the rear of the site down to approximately 702' elevation at the public sidewalk. Significant grading will be required to provide accessible walking paths and safe drivable surfaces. A maximum slope of 9.0% for the drive approach at the rear and at the south access of the site, the general parking area will be graded at 5%. These are the maximum slopes that will accommodate safe vehicular operation.

*7. While the plans submitted are not to scale, it is assumed from prior conversations that the plans will include the same requests for relief from the Urban Space Standards as sought for the property that abuts this site to the north. Relief from the following provisions of Section 29-4.2(f) and Appendix A.10 shall be required for the following Urban Space Standards:*

*a. Section 29-4.2(f)(2)(i)(A) and Appendix A.10(c)(2) requires street tree to be planted in the centerline of the tree lawn or not less than three (3) feet from the back of the curb, within the public right of way. In addition, other standards, such as the requirement that street trees be at grade or not greater than six inches about the sidewalk may apply, but the need for relief cannot be determined from the submitted drawings. Please review this entire section upon your application to determine if you will need to request additional relief;*

Response: As referenced above, the property adjacent to the development found that Providence Road is a state highway, all improvements within the right of way are subject to MODOT jurisdiction. MODOT has indicated that street trees will not be allowed in the ROW as indicated in the enclosed email from Trent Brooks (Developer of the adjacent property) dated February 27, 2020. City of Columbia has also indicated that street trees will not be allowed within the utility easements, a 28-foot utility easement runs adjacent to the ROW. Therefore, we propose not to provide trees that meet the requirements of A.10 (c)(2).

*b. Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(i) and (ii) requires streetlight installation in the public right of way;*

Response: Similar to the adjacent property and mentioned in the email referenced above, ornamental lighting within the ROW is subject to MODOT jurisdiction. As approved by the City for the adjacent property, continuous ornamental street lighting would be proposed to

be located on private property aligned with the adjacent property ornamental streetlights which were accepted under same conditions.

- c. *Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(iii) requires sidewalk installation consistent with street type specifications. The existing City Public Works Downtown Sidewalk detail requires a minimum 10-foot sidewalk be installed.*

Response: Similar to the adjacent property, our development will provide a continuous 9.5-foot sidewalk, this width corresponds to the existing back of curb to the property line frontage along Providence Road.

- 8. *A bypass lane around the drive-through facility stacking lanes has not been provided. Section 29-4.3(i)(2)(vi)*

Response: Access easements surround the building and generally function as the required by-pass lane. Access easement abuts the south and west property line. Access easement serves our property and the adjacent property to the north.

- 9. *Site exceeds the maximum number of parking spaces per Section 29-4.3(e)(1). The minimum required number of spaces is 3, the maximum is 5, and the provided parking is 14.*

Response: The number of off-site parking spaces provided is for the maximum number of employees working during a high demand shift. Providing off-street parking to our employees will keep street parking available for the public and open along the street.

Sincerely

Shawn W. Barry  
Vice President



**ENGINEER OF RECORD:**  
 NAME: SHAWN W. BARRY  
 LICENSE NO. MO #PE-2009001053

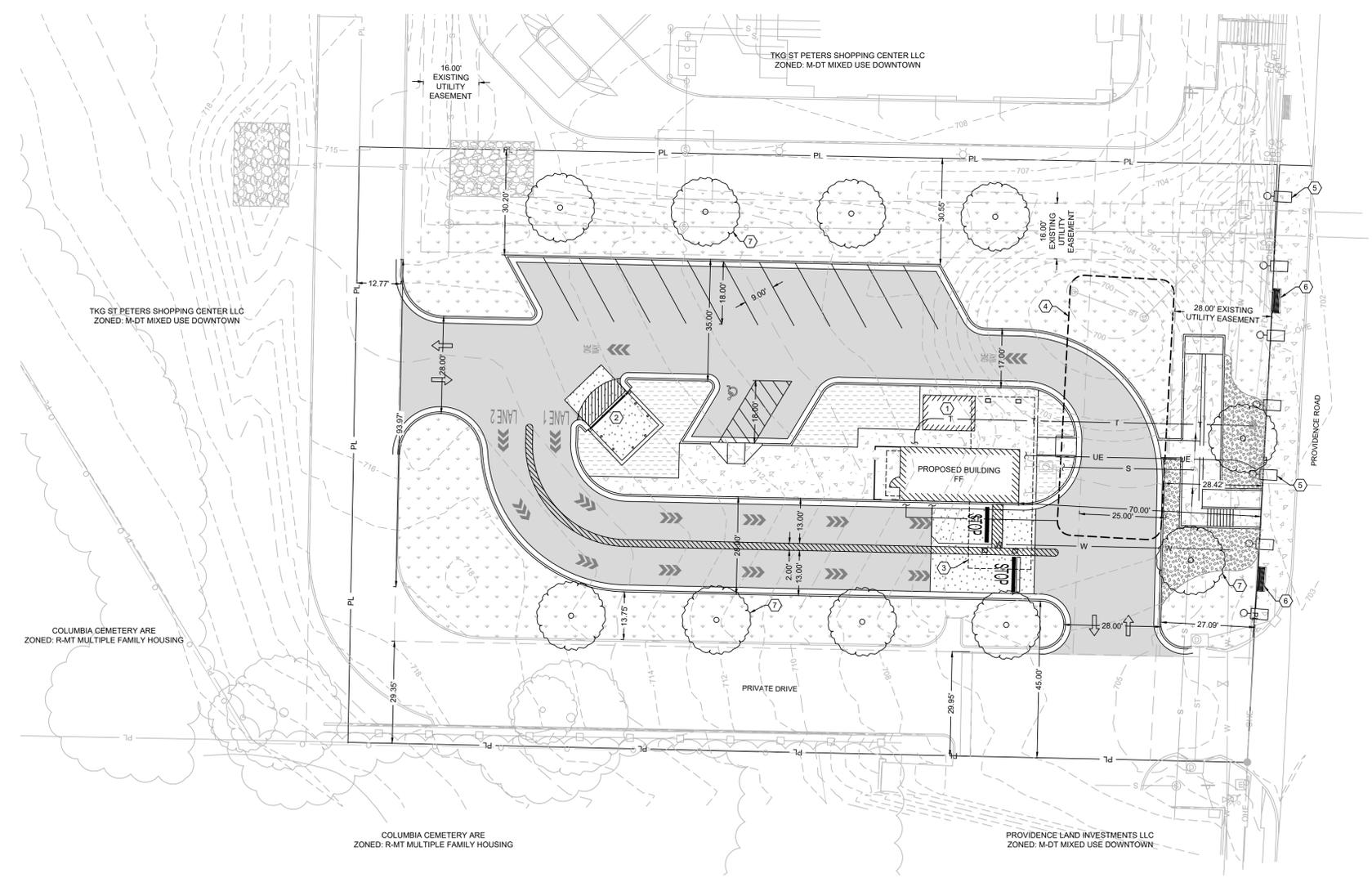
**PROJECT NUMBER:**  
 PROJECT NUMBER

**REVISION:**

**7 BREW COFFEE**  
**COLUMBIA, MO**  
 209 S. PROVIDENCE ROAD  
 COLUMBIA, MO

**C-201**  
 SITE PLAN

DATE: OCTOBER 26, 2022



- HATCH LEGEND:**
- = ASPHALT PAVEMENT PER DETAILS SHEET C-701.
  - = 4" THICK CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS SHEET C-701.
  - = 8" THICK CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS SHEET C-701.
  - = LAWN RESTORATION. INSTALL TOPSOIL, SEED, & MULCH IN ACCORDANCE WITH PROJECT SPECIFICATIONS. EXTENTS SHOWN DO NOT NECESSARILY REFLECT FULL EXTENTS OF RESTORATION REQUIRED. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS.
  - = ARTIFICIAL TURF. PER DETAIL SHEET C-701.
  - = LANDSCAPE PLANTING BEDS. BEDS SHALL RECEIVE MINIMUM 12" DEPTH OF SOIL MIX CONSISTING OF 3 PARTS TOPSOIL, 1 PART SAND, 1 PART ORGANIC MATTER. COVER SOIL MIX WITH COMMERCIAL GRADE WEED FABRIC, TOPPED WITH 3"-4" DEPTH OF SHREDDER HARDWOOD MULCH. COLOR TO BE APPROVED BY OWNER. PLANTINGS BY OWNER.

- KEY NOTES:**
- ① FREEZER LOCATION.
  - ② TRASH ENCLOSURE AND GATE.
  - ③ CANOPY.
  - ④ UNDERGROUND STORMWATER DETENTION.
  - ⑤ LIGHT POLE.
  - ⑥ BENCH.
  - ⑦ LANDSCAPING TO MEET CITY CODE.

**ZONING:**  
 ZONING: M-DT - MIXED USE DOWNTOWN  
 S PROVIDENCE ROAD: URBAN GENERAL - WEST - BFS

**PARKING REQUIREMENTS:**  
 1 SPACE/200 SF. GROSS FLOOR AREA  
 WITH MAX 150% OF 200 SQ.FT. = 5 SPACES

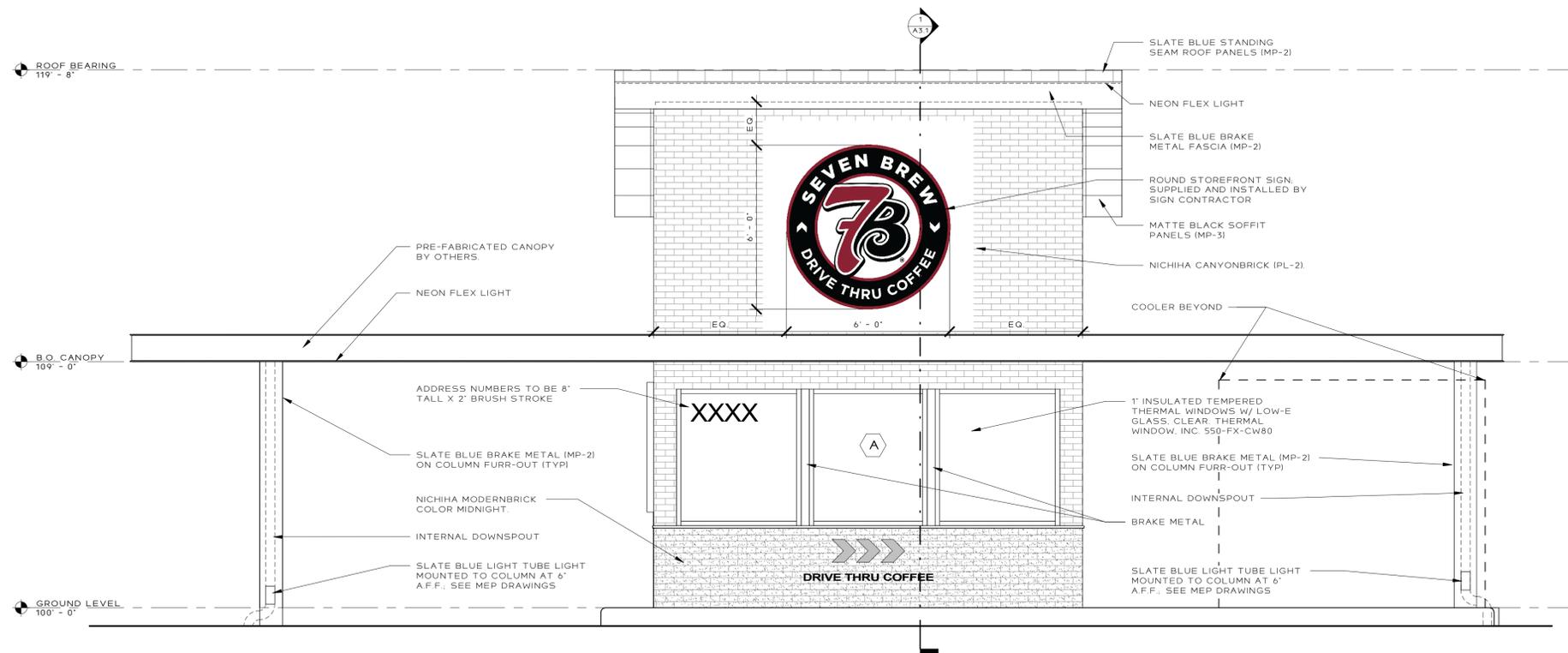
**STORMWATER NOTES:**  
 PRE-PROJECT IMPERVIOUS AREA = 36 SQ. FT.  
 PRE-PROJECT PERVIOUS AREA = 34,672 SQ. FT.  
 POST-PROJECT IMPERVIOUS AREA = 17,640 SQ. FT.  
 POST-PROJECT PERVIOUS AREA = 17,068 SQ. FT.

**NOTE:**  
 CALCULATIONS PROVIDED FOR IMPERVIOUS SURFACE LIMITS ON THE WEST AND SOUTH SIDES IS THE EXISTING BACK OF CURB, NORTH AND EAST IS THE PROPERTY.

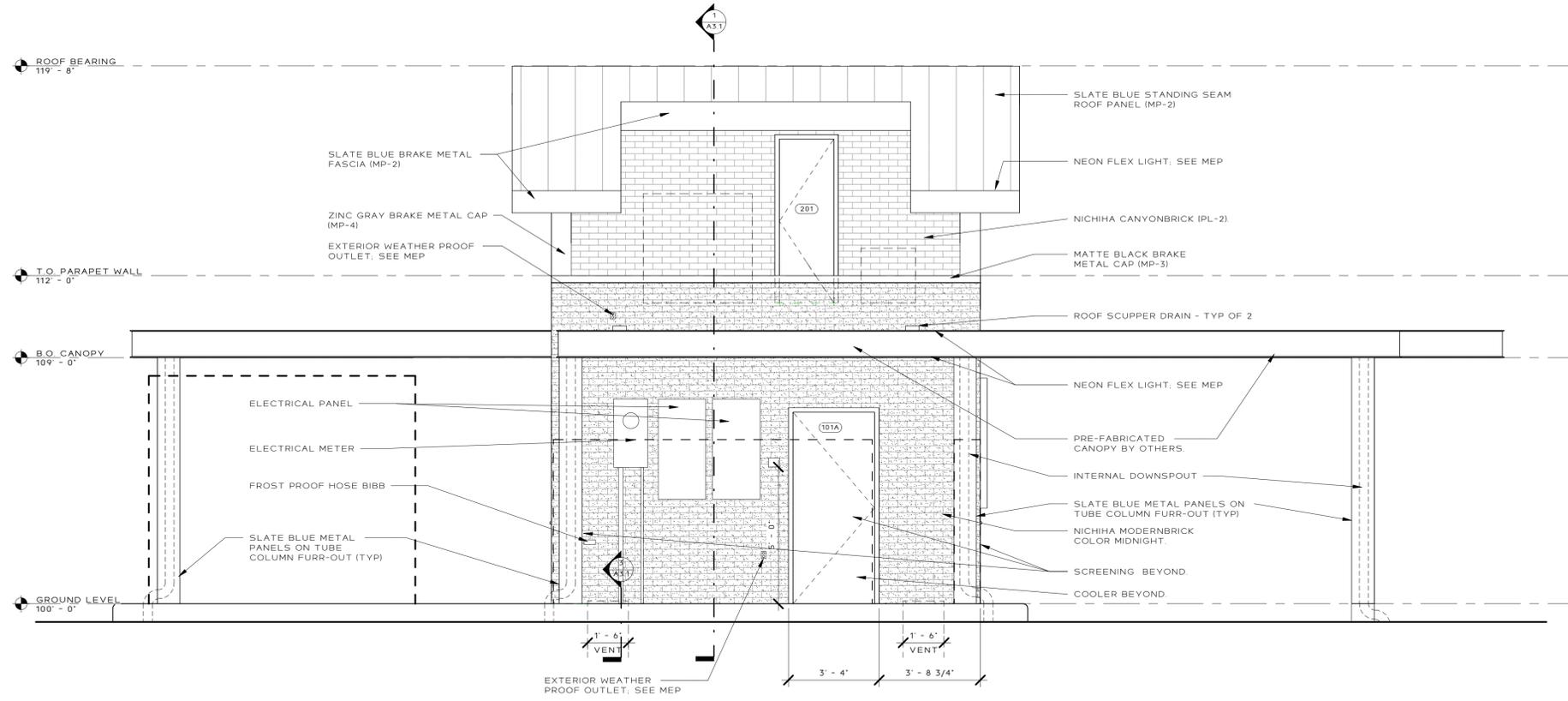
**BUILDING AND LOT DATA:**  
 PROJECT FOOTPRINT = 34,708 S.F. ≈ 0.80 ACRES  
 PROPOSED BUILDING (1 STORY) - RETAIL = 510 S.F.  
 STORAGE (REMOTE COOLER) = 150 S.F.







**1 EXTERIOR ELEVATION - FRONT**  
3/8" = 1'-0"



**2 EXTERIOR ELEVATION - BACK**  
3/8" = 1'-0"

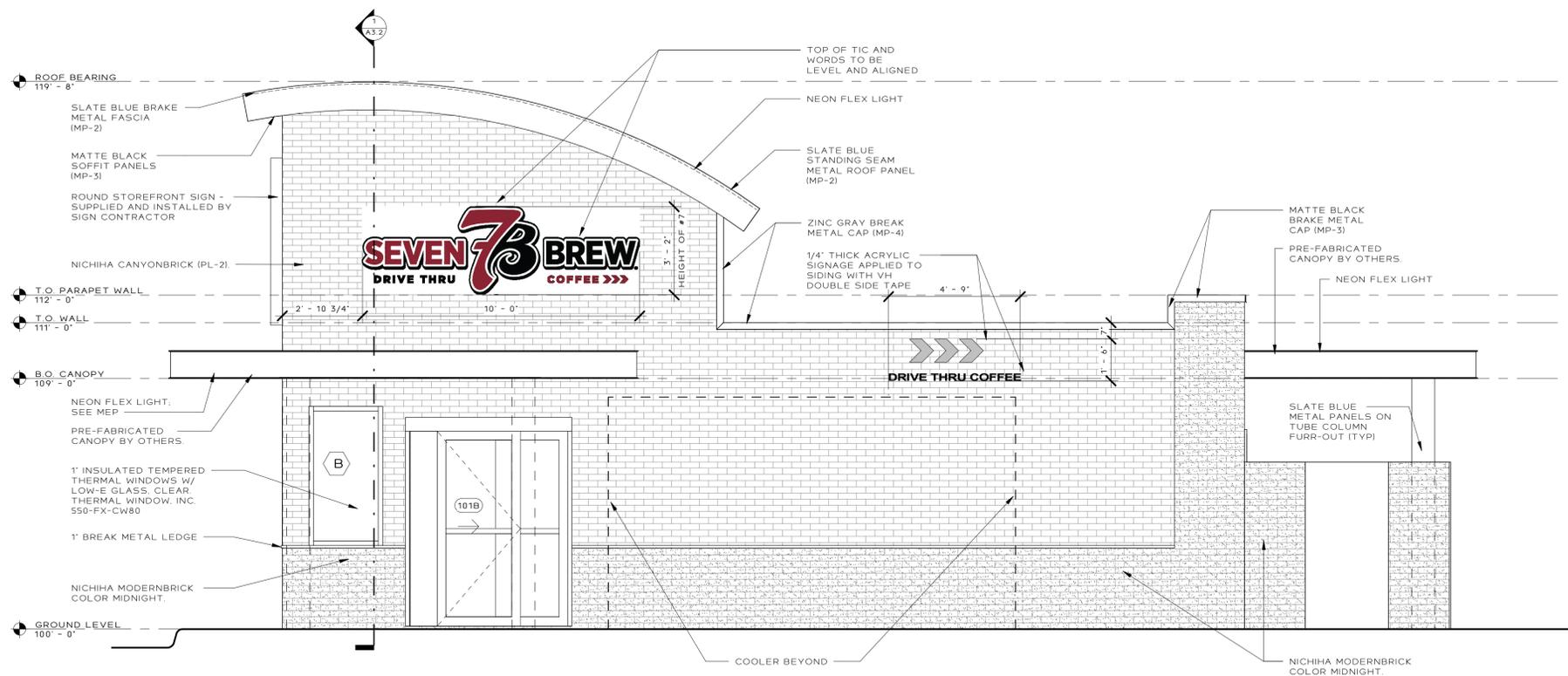
**INTERIM REVIEW ONLY**  
THESE DOCUMENTS ARE INCOMPLETE AND ARE RELEASED FOR INTERIM REVIEW ONLY AND ARE NOT INTENDED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

**ARCHITECT OF RECORD:**  
**NAME:** ABBY BOBBETT  
**LICENSE NO.:** TBD

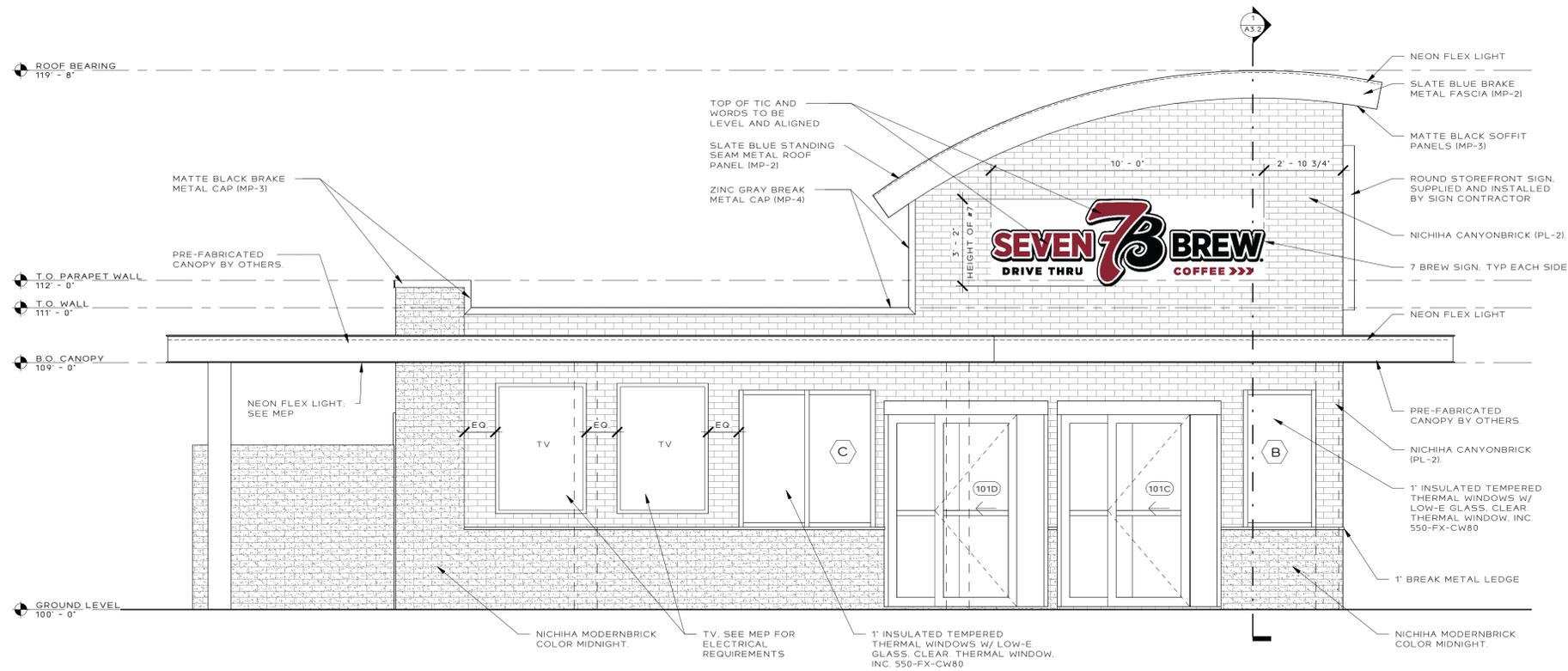
**PROJECT NUMBER:**  
22016 7BLR3

**REVISION:**

**7 BREW COFFEE**  
**COLUMBIA, MO**  
203 S. PROVIDENCE RD.,  
COLUMBIA, MO 65203



**1 EXTERIOR ELEVATION - RIGHT SIDE**  
3/8" = 1'-0"



**2 EXTERIOR ELEVATION - LEFT SIDE**  
3/8" = 1'-0"

**INTERIM REVIEW ONLY**

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22016 7BLR3

**REVISION:**

**7 BREW COFFEE  
COLUMBIA, MO**

203 S. PROVIDENCE RD.,  
COLUMBIA, MO 65203

**A2.2**

EXTERIOR  
ELEVATIONS

DATE: SEPTEMBER 29, 2022



## PRE-DEVELOPMENT PLANNING EXHIBIT

7 BREW COFFEE  
COLUMBIA, MO

209 S. PROVIDENCE ROAD  
COLUMBIA, MO



KINETIC  
DESIGN + DEVELOPMENT

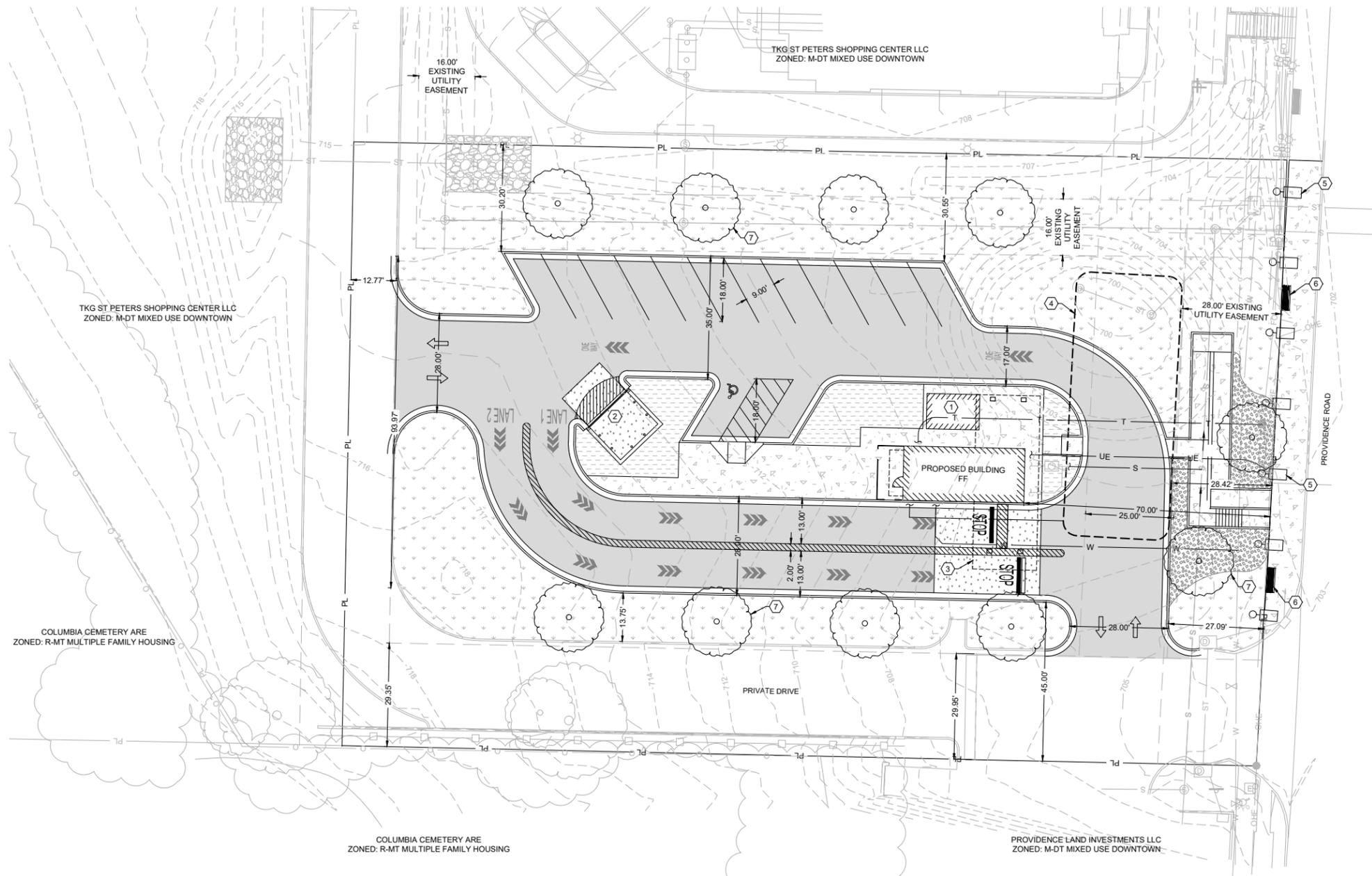


1550 E. REPUBLIC ROAD  
SPRINGFIELD, MO 65804  
Ph: 417-888-0645 Fax: 417-888-0657

www.tothassociates.com

CERTIFICATE OF AUTHORITY:  
MO# E-2004004242-D

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**HATCH LEGEND:**

-  = ASPHALT PAVEMENT  
PER DETAILS SHEET C-701.
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PER CONCRETE PAVEMENT DETAILS SHEET C-701.
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**KEY NOTES:**

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- ② TRASH ENCLOSURE AND GATE.
- ③ CANOPY.
- ④ UNDERGROUND STORMWATER DETENTION.
- ⑤ LIGHT POLE.
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- ⑦ LANDSCAPING TO MEET CITY CODE.

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S PROVIDENCE ROAD: URBAN GENERAL - WEST - BFS

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WITH MAX 150% OF 200 SQ.FT. = 5 SPACES

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PRE-PROJECT PERVIOUS AREA = 34,672 SQ. FT.  
POST-PROJECT IMPERVIOUS AREA = 17,640 SQ. FT.  
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**BUILDING AND LOT DATA:**

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PROPOSED BUILDING (1 STORY) - RETAIL = 510 S.F.  
STORAGE (REMOTE COOLER) = 150 S.F.

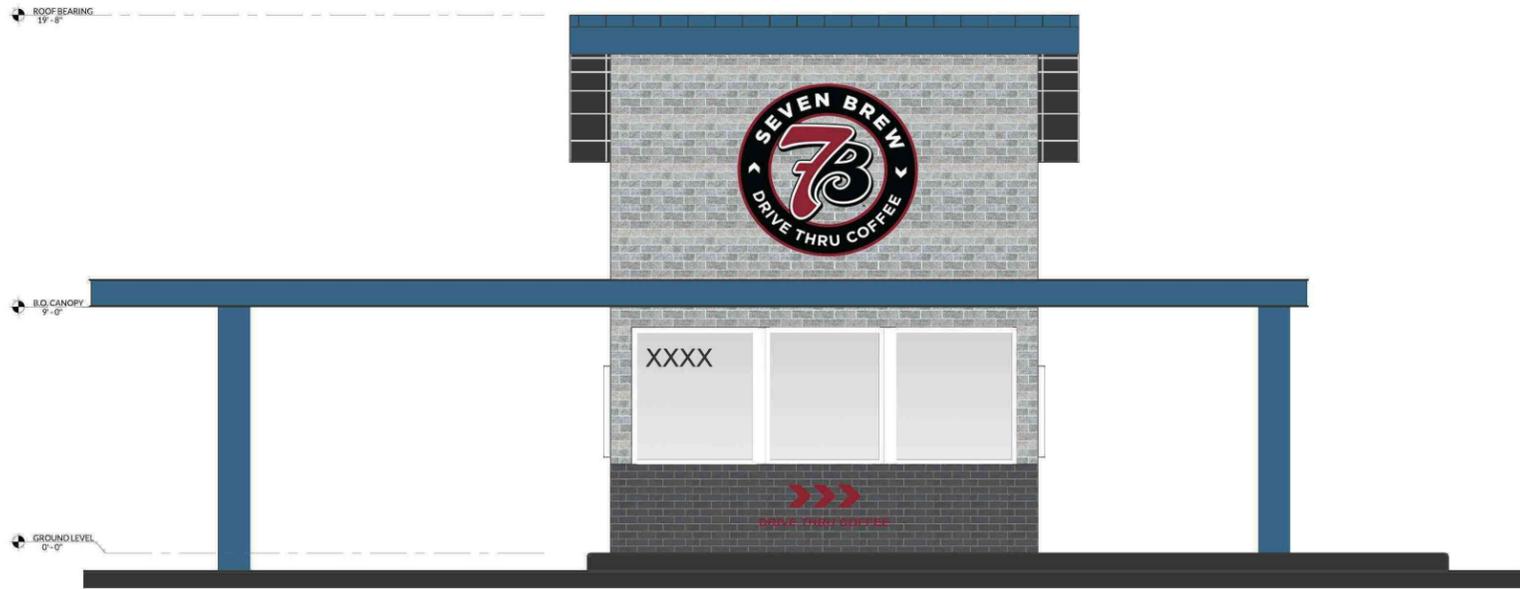
**SITE PLAN**

N.T.S.

**7 BREW COFFEE  
COLUMBIA, MO**

209 S. PROVIDENCE ROAD  
COLUMBIA, MO



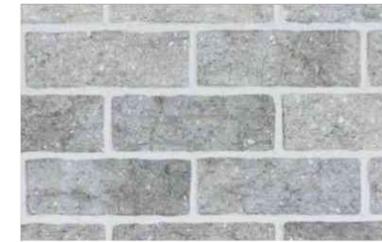


1 EXTERIOR ELEVATION - FRONT  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK  
3/8" = 1'-0"

### Exterior Finish Legend



**Nichiha Canyonbrick**  
Fiber Cement Panel  
Shale Brown



**Nichiha Modernbrick**  
Brick Fiber Cement Panel  
Midnight



**Slate Blue Metal**  
Standing Seam Roof  
Brake Metal Fascia



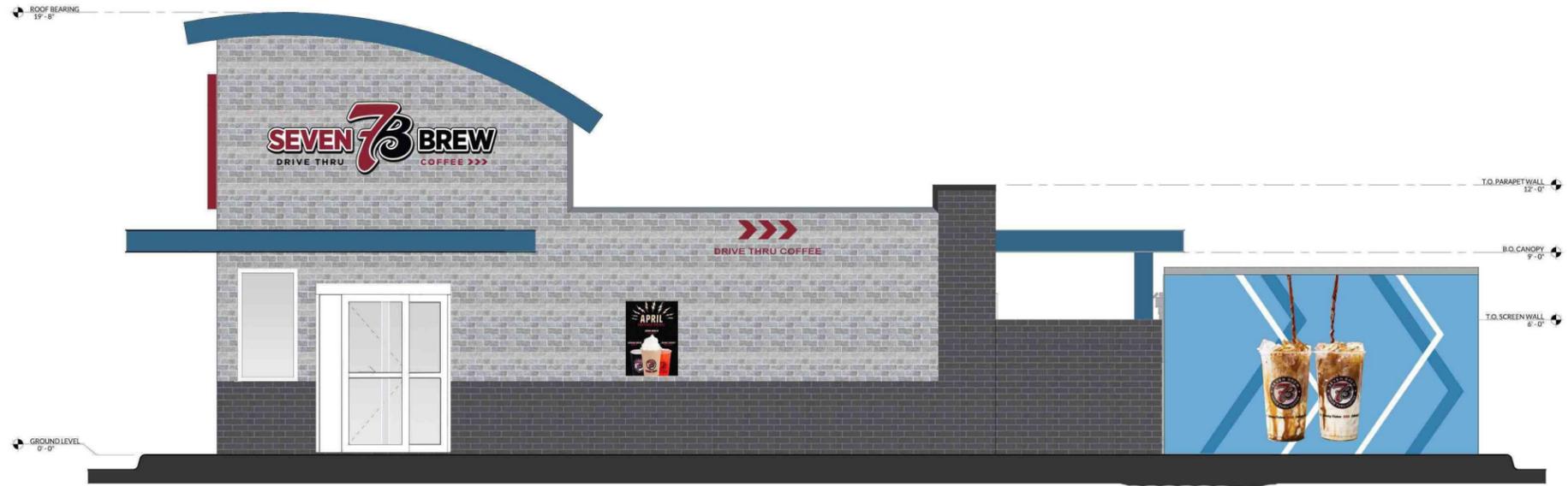
**Matte Black Metal**  
Soffit Panels



**Zinc Gray Brake Metal**  
Brake Metal Cap

# 7 BREW COFFEE COLUMBIA, MO

209 S. PROVIDENCE ROAD  
COLUMBIA, MO



1 EXTERIOR ELEVATION - RIGHT SIDE  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - LEFT SIDE  
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# 7 BREW COFFEE COLUMBIA, MO

209 S. PROVIDENCE ROAD  
COLUMBIA, MO

## Exterior Finish Legend



**Nichiha Canyonbrick**  
Fiber Cement Panel  
Shale Brown



**Nichiha Modernbrick**  
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**Zinc Gray Brake Metal**  
Brake Metal Cap



7 BREW COFFEE  
COLUMBIA, MO

209 S. PROVIDENCE ROAD  
COLUMBIA, MO



7 BREW COFFEE  
COLUMBIA, MO

209 S. PROVIDENCE ROAD  
COLUMBIA, MO

November 8, 2022

Dr. Nicole Vicari  
Kinetic  
2101 W. Chesterfield Blvd A101  
Springfield, MO 65807

Dear Dr. Vicari:

This letter is to inform you that issuance of a building permit for the construction of a 7Brew restaurant at the above address cannot be issued. The subject property is located within the M-DT (Mixed Use - Downtown) zoning district and is subject to compliance with the provisions of [Section 29-4.2](#) (M-DT form-based controls) of the Unified Development Code (UDC). Specifically, compliance with the provisions of Section 29-4.2(d) (General Building Form Standards), Section 29-4.2(e)(2) (Urban General West frontage requirements), Section 29-4.2(f), Appendix A.10 (Urban Space Standards), and Section 29-4.3 (Parking and Loading) has not been achieved within the plans submitted to our offices. Given the identified deficiencies, the proposed construction plans will require either a project redesign or approval of variances by the City's Board of Adjustment.

The below identified variances are processed in two different manners. All variances identified as being within Section 29-4.2 are referred to as adjustments to the form-based controls within the M-DT district and shall require approval by the board, after a public hearing, following the procedure in section 29-6.4(d) (Specific regulatory procedures; Variance) but based on the criteria in section 29-6.4(e)(1)(i) and (ii), listed below:

- (i) The proposed adjustment will not result in development that is inconsistent with the intended character of the M-DT district or the regulating plan for the block face including the applicant's property or the block face(s) immediately across the street(s) from the applicant's property;
- (ii) The proposed adjustment will result in a building and site design of equal or superior quality and visual interest to that required by the application of the form-based controls in section 29-4.2;

Variances to all other provisions within Section 29 are processed as typical variances and shall require approval by the board, after a public hearing, following the procedure in section 29-6.4(d) (Specific regulatory procedures; Variance).

- (A) The variance is required to address practical difficulties or unnecessary hardships related to the shape, size, terrain, location or other factors of the applicant's site, those difficulties or hardships are not generally applicable to property in the area, and the difficulties or hardships were not created by the actions of the applicant;
- (B) The variance will not have the effect of permitting a use of land that is not indicated as a permitted or conditional use in section 29-3.1 (permitted use table) in the zone district where the property is located, nor shall a variance be granted to modify a standard that operates as part of the definition of any use;
- (C) The variance will not permit a development that is inconsistent with the adopted comprehensive plan;

[Building & Site](#) • [CATSO](#) • [Housing Programs](#) • [Neighborhood Services](#) • [Planning](#) • [Volunteer Programs](#)

- (D) The variance is the least change from the requirements of this chapter necessary to relieve the difficulty or hardship; and
- (E) The variance will not harm the public health, safety, or welfare or be injurious to other property or improvements in the area where the property is located.

Plans were submitted for review via email on October 28, 2022. Those plans included a site plan, floor plan architectural elevations, and color renderings, and were undated and not to scale. Having completed a review of the submitted plans, staff has identified the following plan deficiencies, enumerated below, with respect to the aforementioned sections of the UDC. A single variance application may be submitted to the Board of Adjustment seeking relief from these deficiencies; however, such single application **SHALL** be accompanied by a written narrative that clearly supports each waiver sought. Additional supporting documentation such as site plans, architectural elevations, or correspondence should be included with your application.

**Variations:**

1. Based upon reviews of the color renderings of the site, the proposed construction will be elevated above the average grade of the fronting sidewalk greater than the maximum 18 inches permitted per Section 29-4.2(e)(2)(ii)(B)(1)(a).
2. Ground story fenestration does not comprise between 33% and 80% of the ground story façade. Section 29-4.2(e)(2)(iv)(A)(2).
3. The proposed building location does not result in at least 35% of the building façade being constructed to the required building line (RBL) as required by Section 29-4.2(e)(2)(iii)(A)(1). This proposed location is greater than the 60 inches allowed to accommodate building articulation allowed by Section 29-4.2(d)(6)(3)(A);
4. A street wall at the RBL is required to screen surface parking lots. Section 29-4.2(e)(2)(ii)(D)
5. Each façade composition, regardless of the number of bays such composition may have, shall include a functioning street entry door. Section 29-4.2(d)(2)(iii)
6. Based upon the submitted elevation drawings it is unclear if the Ground Story clear height of 12 feet for the first 25 feet of building depth has been met as required by Section 29-4.2(e)(2)(ii)(B)(1)(b);
7. While the plans submitted are not to scale, it is assumed from prior conversations that the plans will include the same requests for relief from the Urban Space Standards as sought for the property that abuts this site to the north. Relief from the following provisions of Section 29-4.2(f) and Appendix A.10 shall be required for the following Urban Space Standards:
  - a. Section 29-4.2(f)(2)(i)(A) and Appendix A.10((c)(2) requires street tree to be planted in the centerline of the tree lawn or not less than three (3) feet from the back of the curb, within the public right of way. In addition, other standards, such as the requirement that street trees be at grade or not greater than six inches about the sidewalk may apply, but the need for relief cannot be determined from the submitted drawings. Please review this entire section upon your application to determine if you will need to request additional relief;
  - b. Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(i) and (ii) requires streetlight installation in the public right of way;
  - c. Section 29-4.2(f)(2)(iii)(A) and Appendix A.10(c)(5)(iii) requires sidewalk installation consistent with street type specifications. The existing City Public Works Downtown Sidewalk detail requires a minimum 10-foot sidewalk be installed.
8. A bypass lane around the drive-through facility stacking lanes has not been provided. Section 29-4.3(i)(2)(vi)
9. Site exceeds the maximum number of parking spaces per Section 29-4.3(e)(1). The minimum required number of spaces is 3, the maximum is 5, and the provided parking is 14.

**Building & Site • CATSO • Housing Programs • Neighborhood Services • Planning • Volunteer Programs**



573.874.7474 Service Counter  
573.874.7239 Administrative Offices



701 E. Broadway, P.O. Box 6015  
Columbia, Missouri 65205



CoMo.gov  
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*Our vision: Columbia is the best place for everyone to live, work, learn and play.*

The findings of this letter of denial are limited to the elements contained herein and shall not be construed as being exhaustive. Additional findings of non-compliance with the provisions of the Unified Development Code may arise as final development and construction plans are submitted for review and approval.

Applications for variances may be obtained at <https://www.como.gov/boards/board-of-adjustment/board-of-adjustment-forms/> and selecting the links associated with “**Notice of Application for a Variance**”.

Be advised that all applications are due by 12:00 p.m. (noon) on the application day and must be accompanied with applicable filing fees. Furthermore, if the ownership of 7Brew is anything other than an individual, partnership or joint ownership, a duly qualified and authorized attorney at law licensed in the State of Missouri must sign the variance application(s). In addition, a conditional use permit for a drive-through facility will be required to be approved if and when the necessary variances are approved by the Board of Adjustment.

Should you have additional questions please contact our offices.

Sincerely,



Clint Smith, Senior Planner  
Community Development

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