

PUD-11 DEVELOPMENT PLAN DEERFIELD RIDGE PHASE 2

DECEMBER 21, 2006
REVISED: JANUARY 8, 2007
REVISED: JANUARY 25, 2007
REVISED: MAY 20, 2008

SUBDIVISION VARIANCES

- SECTION 25-43 - STREET WIDTHS: SCOTT BOULEVARD IS PROPOSED AT 38' WIDE WITH NO CURBS.
- SECTION 25-44 - STREET GRADES: SCOTT BOULEVARD HAS A PROPOSED GRADE OF 8.56%.
- SECTION 25-47 - TERMINAL STREETS: MONTAUK COURT IS PROPOSED TO BE 1,300'± LONG.
- SECTION 25-53 - LOT ARRANGEMENT: LOTS 26, 27, 28, 29, 30, 31, 32, 44, 45, 46, 47, 48, 51 AND 52 ARE PROPOSED TO HAVE DRIVEWAY ACCESS TO SCOTT BOULEVARD. THESE LOTS SHALL BE DEED RESTRICTED TO REQUIRE DRIVEWAY TURN-AROUNDS FOR THE PURPOSE OF FORWARD ENTRY TO SCOTT BOULEVARD. LOTS 26 & 27, 28 & 29, 30 & 31, 44 & 45, 47 & 48 AND 51 & 52 SHALL HAVE SHARED DRIVEWAY ACCESS. SHARED DRIVEWAY APPROACHES SHALL BE DESIGNED AND CONSTRUCTED AS PART OF THE STREET CONSTRUCTION AND PRIOR TO ACCEPTANCE OF THE STREET, THE SANITARY SEWER PUMP STATION IS ALSO PROPOSED TO HAVE DRIVEWAY ACCESS TO SCOTT BOULEVARD. UNDER CURRENT CITY OF COLUMBIA POLICY ANY STREET IS SUBJECT TO FUTURE IMPROVEMENTS BASED ON WARRANTS DETERMINED BY THE APPROPRIATE JURISDICTION, INCLUDING BUT NOT LIMITED TO, WIDENING, LANE ADDITIONS AND STREET AND DRIVEWAY ACCESS BEING RESTRICTED TO "RIGHT-IN-RIGHT-OUT" MOVEMENTS.
- APPENDIX A - DESIGN STANDARDS FOR STREETS, SIDEWALKS AND BIKEWAYS: MONTAUK COURT, CAYMUS COURT AND BANIAN DRIVE ARE PROPOSED AS 28' WIDE CURBLESS STREETS GRADED AT 2% CROSS SLOPE TO DRAIN AWAY FROM THE CENTERLINE TO THE RIGHT-OF-WAY LINE. SCOTT BOULEVARD IS PROPOSED AS A 38' WIDE CURBLESS STREET WITH 2' DEEP V-BOTTOM DRAINAGE SWALES AND 5' WIDE SIDEWALKS ALONG BOTH SIDES OF THE STREET EXCEPT WHERE TRANSITIONING TO 7' WIDE PEDESTRIAN WAYS NEAR THE NORTH END OF THE PROPERTY. THE PROPOSED PAVEMENT SECTION FOR SCOTT BOULEVARD IS EITHER 9" OF ASPHALT OVER 4" OF ROLLED STONE BASE OR 7" OF CONCRETE OVER 4" OF ROLLED STONE BASE.

OWNER/DEVELOPER

FAIRWAY MEADOWS CORP.
3714 S. SHORT LINE DRIVE
COLUMBIA, MISSOURI 65203

SITE DATA

EXISTING ZONING: A-2
TRACT SIZE: 61.08 ACRES
LOCATION: WEST 1/2 SEC. 9-47-13
WARRANTY DEED RECORDED IN BOOK 1539, PAGE 392

FLOOD PLAIN STATEMENT

THIS TRACT IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN BY THE FIRM PANEL NUMBER 290034 0119B, DATED JUNE 15, 1983

EXISTING UTILITIES

SEWER: 8" CITY SEWER MAIN SOUTH OF STATE ROUTE K IN BOONE'S POINTE TRIBUTARY TO THE CASCADES PUMP STATION
WATER: 8" MAIN ALONG NORTH SIDE OF STATE ROUTE K
GAS: ALONG SOUTH SIDE OF STATE ROUTE K
ELEC: 3-PHASE OVERHEAD ON NORTH SIDE OF STATE ROUTE K

GENERAL NOTES

- THERE WILL BE A 20' UTILITY EASEMENT ALONG THE STREET FRONTAGE OF ALL LOTS.
- THERE WILL BE A MINIMUM 16' WIDE EASEMENT DEDICATED FOR ALL SANITARY AND STORM SEWER LINES.
- ELECTRIC, TELEPHONE, GAS AND WATER LINES WILL BE ADJACENT TO ALL LOTS.
- ALL CUL-DE-SACS WILL HAVE A 47' RADIUS RIGHT-OF-WAY AND 38' RADIUS PAVEMENT.
- DRIVEWAY ACCESS ALONG STATE ROUTE K FOR LOTS 1 THRU 3 AND LOT 53 SHALL BE PROHIBITED FOR SINGLE-FAMILY OR TWO-FAMILY RESIDENTIAL DEVELOPMENT.
- 5' SIDEWALKS ARE PROPOSED AS SHOWN.
- THE WATER DISTRIBUTION SYSTEM WILL BE DESIGNED BY CONSOLIDATED PUBLIC WATER SUPPLY DISTRICT NO. 1.
- CONTOUR INTERVAL IS TWO (2) FEET.

PUD NOTES

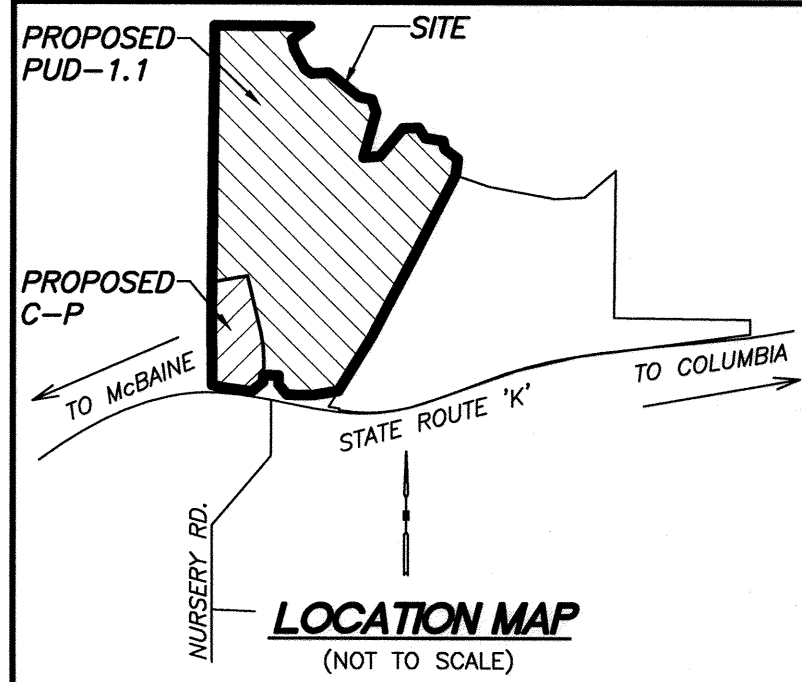
- AREA:
PUD: 56.05 ACRES
C-P: 5.03 ACRES
- MAXIMUM BUILDING HEIGHT:
PUD: 37'
- INDIVIDUAL BUILDING SIZES AND SHAPES MAY VARY.
- MINIMUM DISTANCE FROM BUILDING TO PERIMETER PROPERTY LINES:
PUD: 25.00'
- PUD IMPERVIOUS AREA: 14.20 ACRES = 25.33%
PUD PERVIOUS AREA: 41.85 ACRES = 74.67% (60% MINIMUM)
- PUD PARKING REQUIRED: 2 PER UNIT x 52 UNITS = 104 SPACES
PUD PARKING PROVIDED: 4 PER UNIT (2 GARAGE, 2 DRIVEWAY) x 52 UNITS = 208 SPACES
- TWO (2) DEVELOPMENT MONUMENT SIGNS ARE PROPOSED AT THE APPROXIMATE LOCATIONS SHOWN ON THIS PLAN. EACH SIGN WILL HAVE A MAXIMUM AREA OF 16 SF, MAXIMUM HEIGHT OF 4' AND BE EXTERNALLY GROUND LIT.
- A C-P DEVELOPMENT PLAN WILL BE SUBMITTED UNDER A SEPARATE APPLICATION.

PUD UNIT SUMMARY

52 SINGLE FAMILY DETACHED UNITS

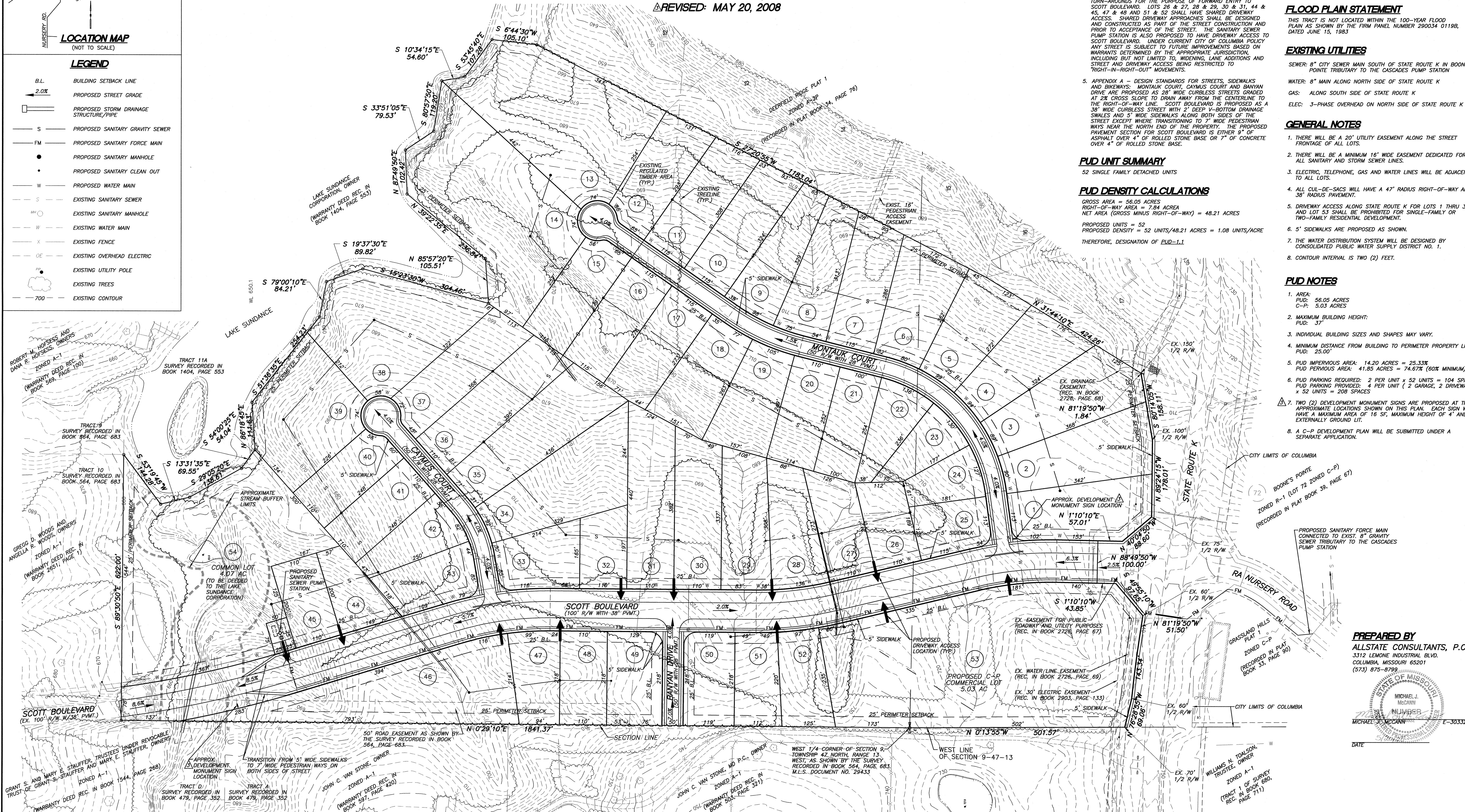
PUD DENSITY CALCULATIONS

GROSS AREA = 56.05 ACRES
RIGHT-OF-WAY AREA = 7.84 ACRES
NET AREA (GROSS MINUS RIGHT-OF-WAY) = 48.21 ACRES
PROPOSED UNITS = 52
PROPOSED DENSITY = 52 UNITS/48.21 ACRES = 1.08 UNITS/ACRE
THEREFORE, DESIGNATION OF PUD-1.1



LEGEND

- B.L. BUILDING SETBACK LINE
- 2.0% PROPOSED STREET GRADE
- PROPOSED STORM DRAINAGE STRUCTURE/PIPE
- S PROPOSED SANITARY GRAVITY SEWER
- FM PROPOSED SANITARY FORCE MAIN
- PROPOSED SANITARY MANHOLE
- PROPOSED SANITARY CLEAN OUT
- W PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING WATER MAIN
- EXISTING FENCE
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- EXISTING TREES
- 700 EXISTING CONTOUR

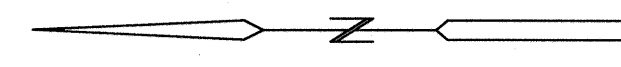


TREE PRESERVATION DATA

EXISTING REGULATED TIMBER	29.91 AC.
MINIMUM REQUIRED REGULATED TIMBER PRESERVATION	7.48 AC. (25%)

STREAM BUFFER STATEMENT

THE APPROXIMATE LIMITS OF THE STREAM BUFFER AS SHOWN FOR THE TYPE II STREAM ARE INTENDED TO COMPLY WITH THE REQUIREMENTS OF ARTICLE X, CHAPTER 124 OF THE CITY OF COLUMBIA'S CODE OF ORDINANCES.



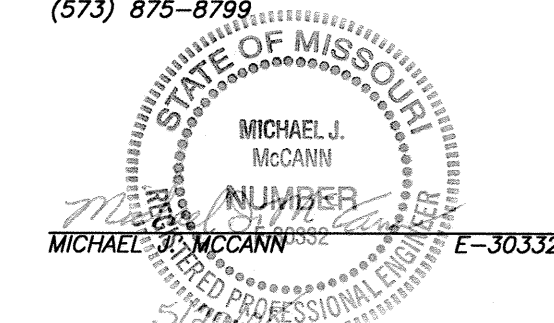
BEARINGS ARE REFERENCED TO THE SOUTH LINE OF TRACT 11, OF THE SURVEY RECORDED IN BOOK 564, PAGE 683.

AS SUBMITTED AS A MINOR ALTERATION TO THE PUD PLAN OF DEERFIELD RIDGE PHASE 2 WITH THE FOLLOWING CHANGES:

- TWO (2) DEVELOPMENT MONUMENT SIGNS ARE PROPOSED INSTEAD OF THREE (3). THE SIGN LOCATIONS ALSO CHANGED AS SHOWN ON THIS PLAN.

TIMOTHY TEDDY, DIRECTOR OF PLANNING & DEVELOPMENT
DATE: 2/2/08

PREPARED BY
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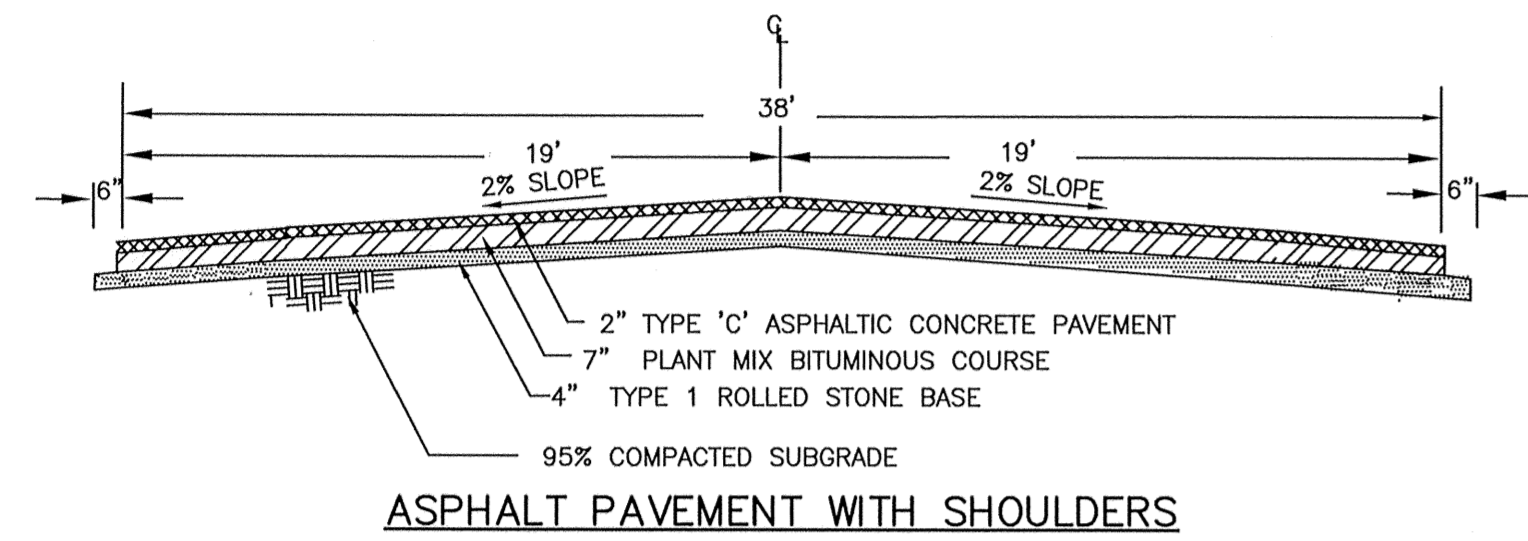


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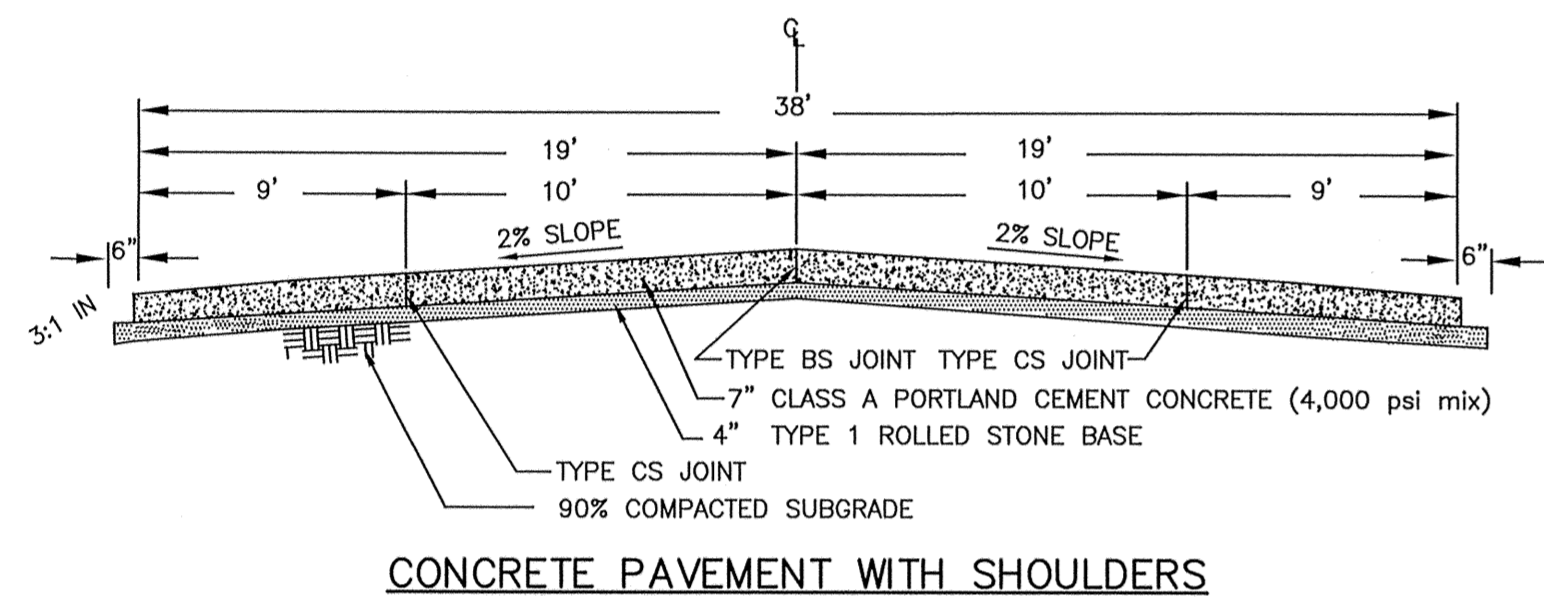
PUD-11 DEVELOPMENT PLAN
DEERFIELD RIDGE PHASE 2

DECEMBER 21, 2006
 REVISED: JANUARY 8, 2007

JOB # 05399.01
 PUD PLAN - DEERFIELD RIDGE PHASE 2

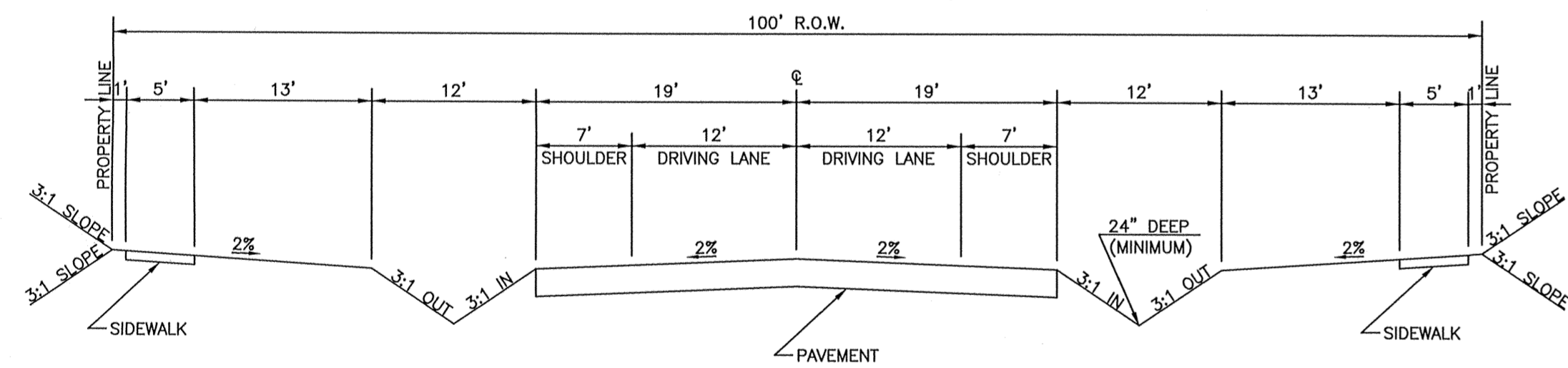


ASPHALT PAVEMENT WITH SHOULDERS

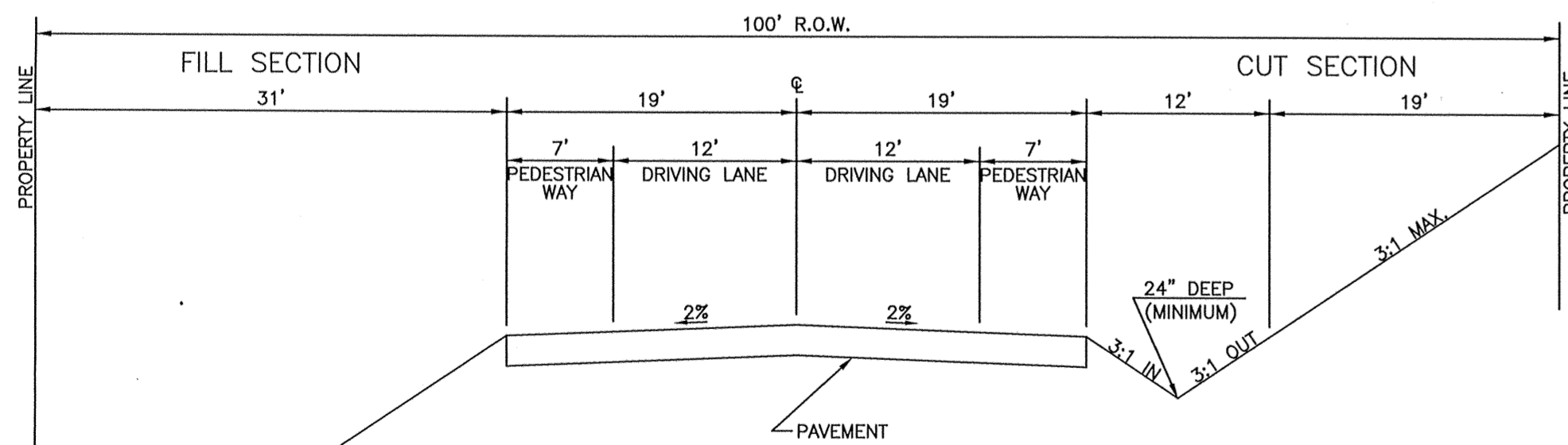


CONCRETE PAVEMENT WITH SHOULDERS

TYPICAL PAVEMENT SECTIONS
 NTS

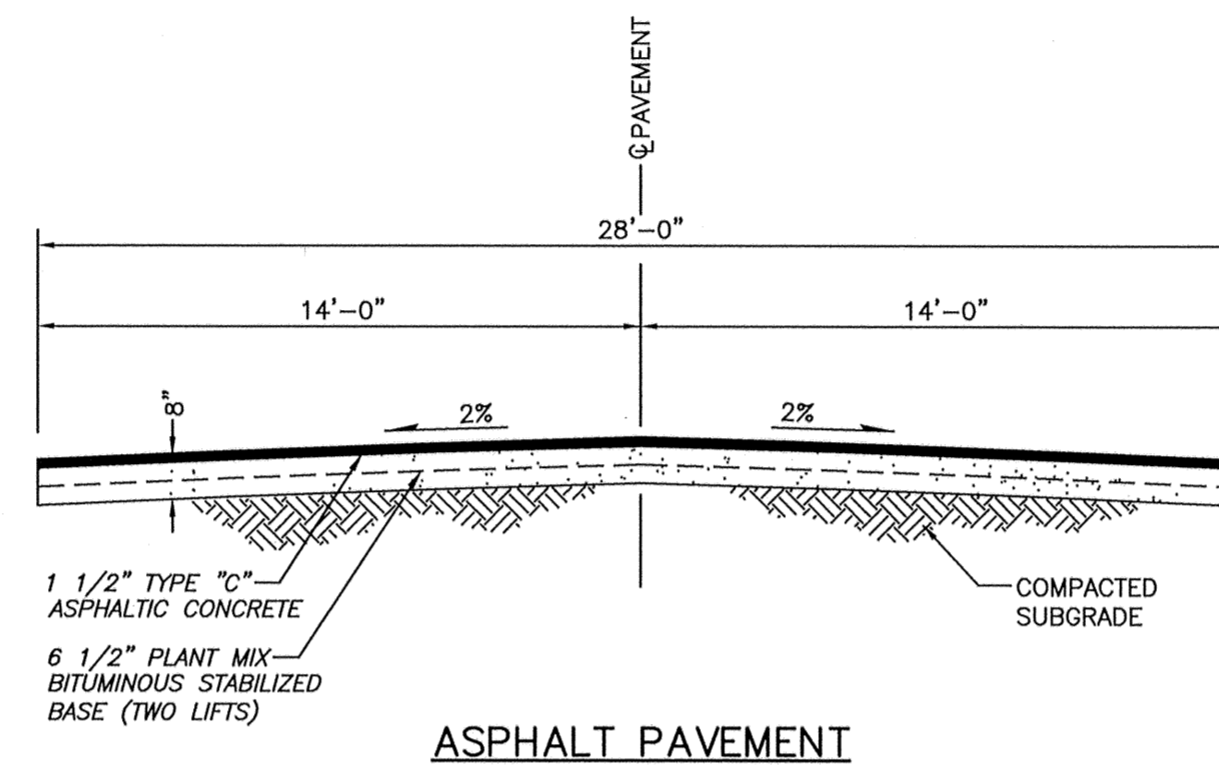


TYPICAL R/W SECTION WITH A SIDEWALK
 1"=10' H 1"=5' V

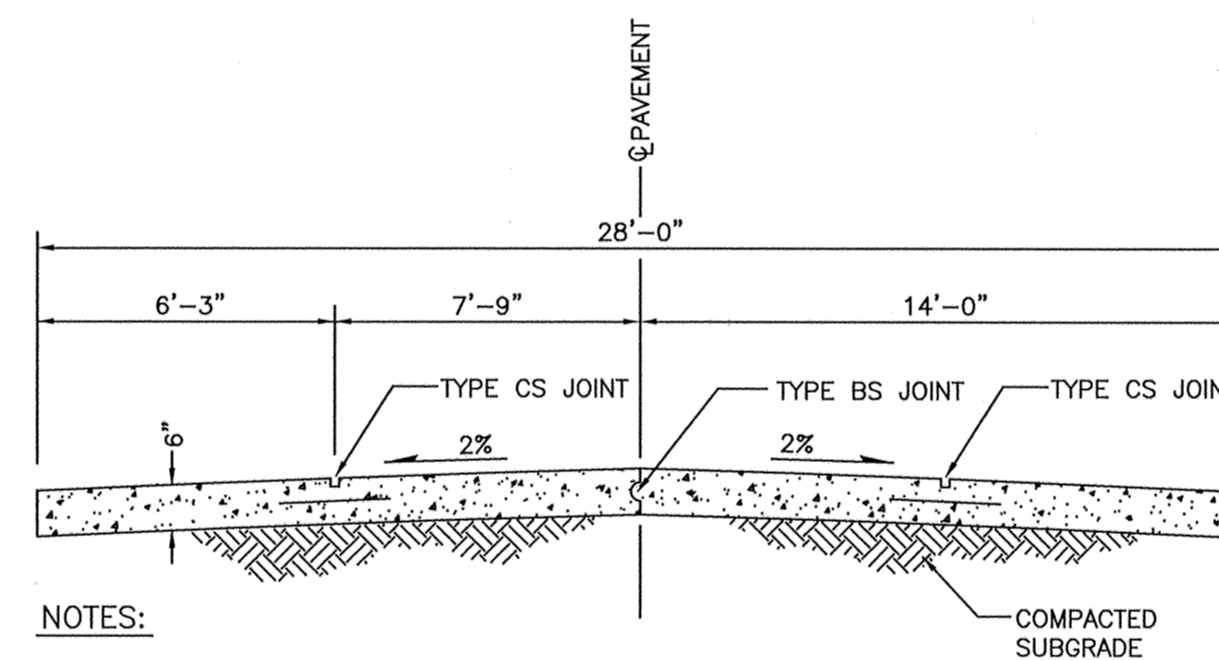


TYPICAL R/W SECTION WITH A PEDESTRIAN WAY
 1"=10' H 1"=5' V

TYPICAL SECTIONS - SCOTT BOULEVARD



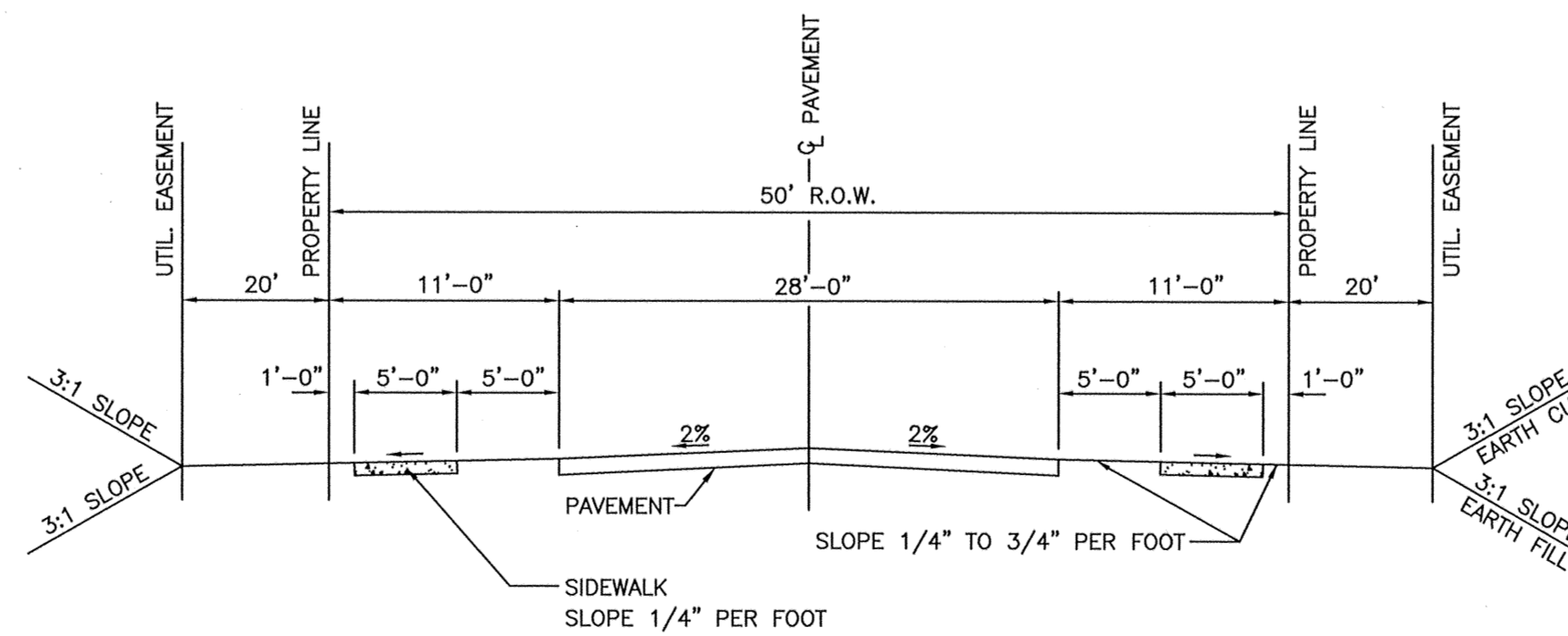
ASPHALT PAVEMENT



CONCRETE PAVEMENT

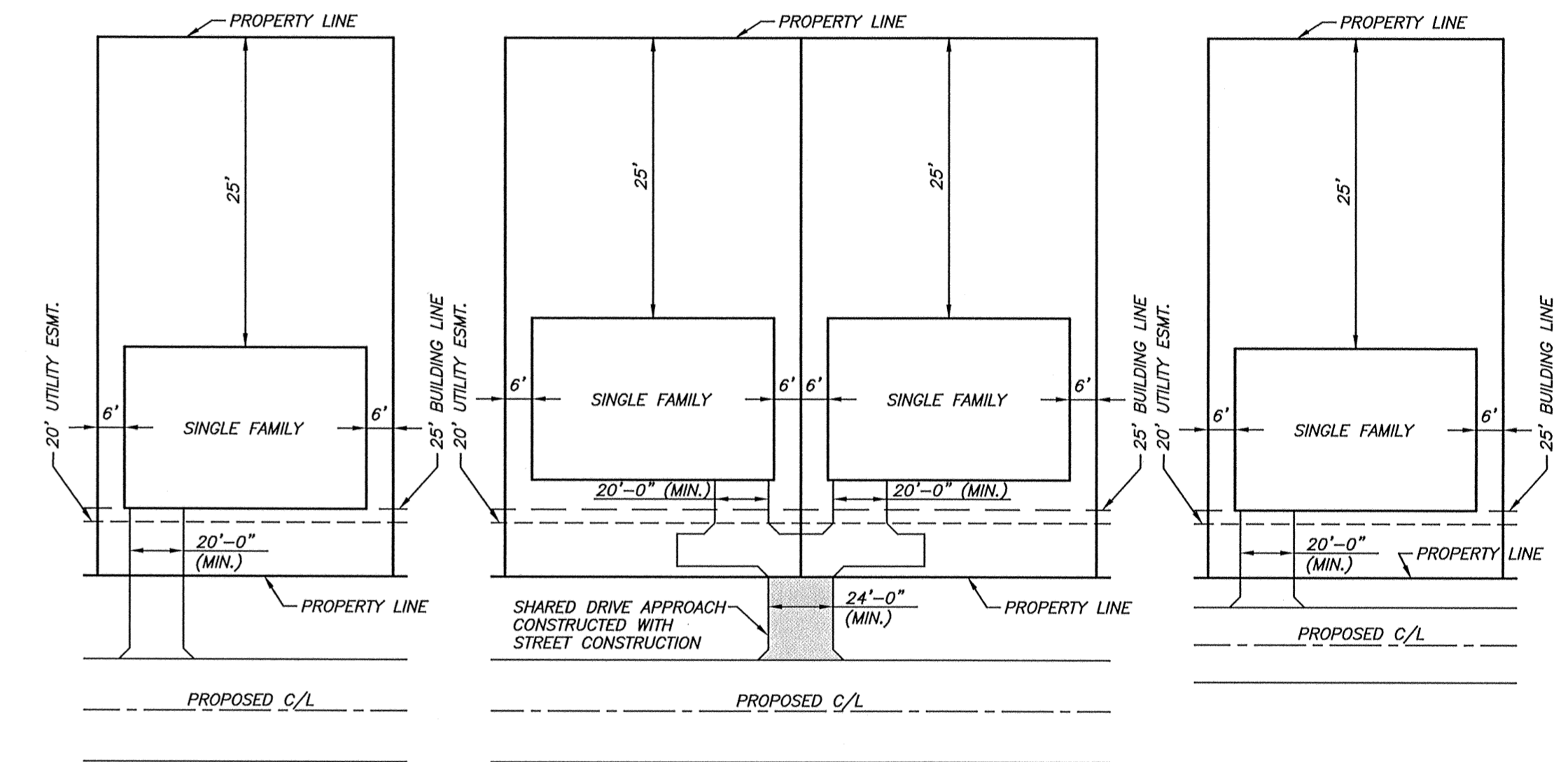
- NOTES:
1. ALL P.C. CONCRETE SHALL BE CLASS A.
 2. SEE DETAIL 200.01 FOR JOINT DETAILS.

TYPICAL PAVEMENT SECTIONS
 NTS



TYPICAL R/W SECTION
 NTS

TYPICAL SECTIONS - MONTAUK DRIVE, CAYMUS COURT & BANYAN DRIVE



- * MINIMUM SETBACKS ARE SHOWN
 * BUILDING LOCATION AND SHAPE MAY VARY
 * EACH LOT SHALL HAVE A MINIMUM OF TWO (2) TREES PLANTED IN THE FRONT YARD

ALONG SCOTT BLVD.
 SINGLE DRIVEWAY

- * MINIMUM SETBACKS ARE SHOWN
 * BUILDING LOCATION AND SHAPE MAY VARY
 * EACH LOT SHALL HAVE A MINIMUM OF TWO (2) TREES PLANTED IN THE FRONT YARD

ALONG SCOTT BLVD.
 SHARED DRIVEWAY

- * MINIMUM SETBACKS ARE SHOWN
 * BUILDING LOCATION AND SHAPE MAY VARY
 * EACH LOT SHALL HAVE A MINIMUM OF TWO (2) TREES PLANTED IN THE FRONT YARD

ALONG OTHER STREETS
 SINGLE DRIVEWAY

TYPICAL LOT LAYOUT WITH LANDSCAPING
 (NOT TO SCALE)

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