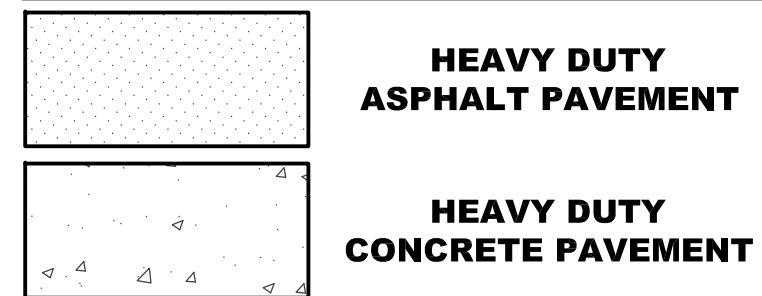


PAVEMENT LEGEND

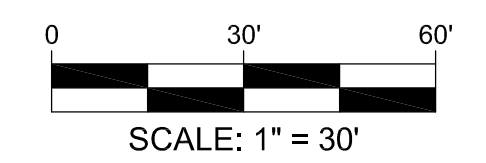


SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	AE	AE
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	○	○
CATCH BASIN	■	■
JUNCTION BOX	●	●
FLARED END SECTION	▭	▭
CLEANOUT	•	•
GRATED INLET	■	■
CHAINLINK FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---
CONTOURS	---	---

STRUCTURE ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
JB	JUNCTION BOX
CB	CATCH BASIN
CGI	CURB GRATED INLET
BHGI	BEEHIVE GRATED INLET
GI	GRATED INLET
CS	CONTROL STRUCTURE
STCO	STORM SEWER CLEANOUT
SMH	SANITARY MANHOLE
SSCO	SANITARY SEWER CLEANOUT
GT	GREASE TRAP
LS	LIFT STATION/ GRINDER PUMP

SITE PLAN

(RED OAK MARKETPLACE PD)



- SITE NOTES:**
- Bearings referenced to Grid North of the Missouri Coordinate System 1983, Central Zone and elevations referenced to NAVD 1988 per GPS observations utilizing the MoDOT VRS RTK Network.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
Primary Benchmark – Found Iron Rod at North corner of property. Elevation=743.00
 - This site scales within Zone X, areas determined to be outside the 0.2% annual chance floodplain, as per Federal Emergency Management Agency Flood Insurance Rate Map No. 29019C0287E, Community Panel No. 287E, dated April 19, 2017.
 - The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
 - Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
 - All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
 - The sitework for this project shall meet or exceed all applicable requirements.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
 - All dimensions are to the face of curb and radii are to the back of curb, unless otherwise shown.
 - Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
 - The height of the light poles concrete base is critical (see detail).
 - Contractor shall have a copy of the City of Columbia's latest edition of the Street and Storm Sewer Specifications and Standards on site at all times during construction.
 - Maximum building height is 45 feet.
 - Signage shall comply with City of Columbia Unified Development Code (UDC).
 - Wall signs shall follow Table 29-4.8-9 of UDC.
 - Monument signs shall follow Table 29-4.8-8 of UDC. Monument signs cannot be nearer to the interior sidelines than 25% of lot width.

NOTE:
Contractor is responsible for notifying the following agencies, as required, immediately prior to closure of street, during construction for inspections and again when work is complete and street is reopened.

Site Development (ROW Inspections)	874-7474
Building Safety (Plumbing/Building Inspections)	874-7474
Joint Communications (Emergency Services)	874-8471
Columbia Transit (City Buses)	874-7282
Parking Enforcement (Parking Meters)	874-7674
Public Works Street Division (Street Patching)	874-9289

PLANNING AND ZONING'S CERTIFICATE:
Approved by the City of Columbia Planning and Zoning Commission this ____ day of _____, 20____.

Rusty Stradman, Chairperson

CITY COUNCIL'S CERTIFICATE:
Approved by the Columbia City Council this ____ day of _____, 20____.

Brian Treese, Mayor

SITE DATA

LOT 2A	2.49 ACRES±
LOT 2B	0.79 ACRES±
LOT 2C	0.56 ACRES±
LOT 2D	0.58 ACRES±
TOTAL AREA	4.42 ACRES±

LAND USE: COMMERCIAL
ZONING CLASSIFICATION: PD (PLANNED DEVELOPMENT)
LOCAL JURISDICTION: CITY OF COLUMBIA, MISSOURI

PARKING DATA

REQUIRED PARKING	
RETAIL	1/300 S.F.
RESTAURANT WITH DRIVE-THRU	1/200 S.F.
RESTAURANT	1/150 S.F.

LOT 2A	RETAIL (17,466 S.F.)	59 SPACES REQUIRED
	RESTAURANT (2,054 S.F.)	11 SPACES REQUIRED
		70 SPACES REQUIRED
		107 SPACES PROVIDED

LOT 2B	RETAIL (6,956 S.F.)	24 SPACES REQUIRED
		38 SPACES PROVIDED

LOT 2C	RETAIL (2,800 S.F.)	10 SPACES REQUIRED
	RESTAURANT (1,750 S.F.)	12 SPACES REQUIRED
		22 SPACES REQUIRED
		29 SPACES PROVIDED

LOT 2D	RESTAURANT (3,015 S.F.)	21 SPACES REQUIRED
		29 SPACES PROVIDED

Red Oak Marketplace, LLC
RED OAK MARKETPLACE
1325 Grindstone Plaza Drive
Columbia, Boone County
Missouri, 65201

REVISIONS

1	By: _____	App: _____
2	By: _____	App: _____
3	By: _____	App: _____
4	By: _____	App: _____

OWNER
RED OAK MARKETPLACE, LLC
708 Hwy 28, PO Box 39
Ball, MO 65013

CITY PROJECT #18-20

DRAWN
B.L.P., J.J.M.
CHECKED
R.G.R.
DATE
12/07/17
SCALE
1"=30'
JOB NO.
4137
SHEET NAME
SITE PLAN

ST-1

FOR CITY REVIEW ONLY

RICK G. ROHLFING, P.E. #29409
State of Missouri
Registered Professional Engineer for
BFA, Inc. Professional Engineering Corporation #000472

12/07/2017

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

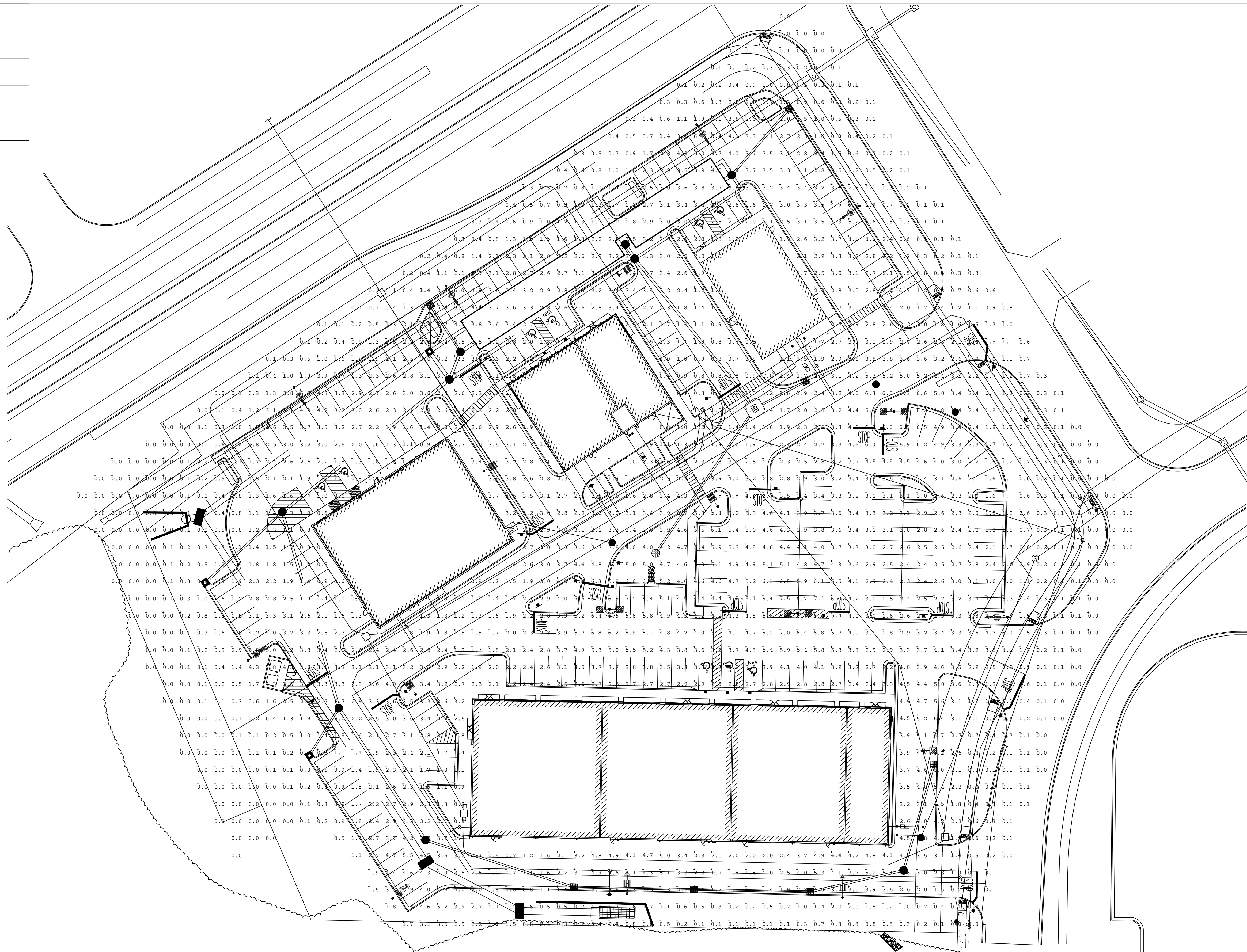
E-Mail: mail@bfaeng.com TELEPHONE: (636) 239-4751

BFA
CONSULTANTS-ENGINEERS-SURVEYORS
www.bfaeng.com

103 ELM STREET WASHINGTON, MISSOURI 63090

REVISIONS

Rev #	Date	BY:
1	6/5/17	J.P.
2	11/6/17	J.P.
3	11/7/17	J.P.
4	12/5/17	J.P.



Label	Units	Avg	Max	Min	Avg/Min	Max/Min	FtSpclr	FtSpctb
MAIN PARKING	Fc	3.68	7.5	1.0	3.68	7.50	10	10
OUTPARCEL PARKING	Fc	2.59	6.1	0.5	5.18	12.20		
SIDES AND REAR	Fc	2.95	6.7	0.5	5.90	13.40		

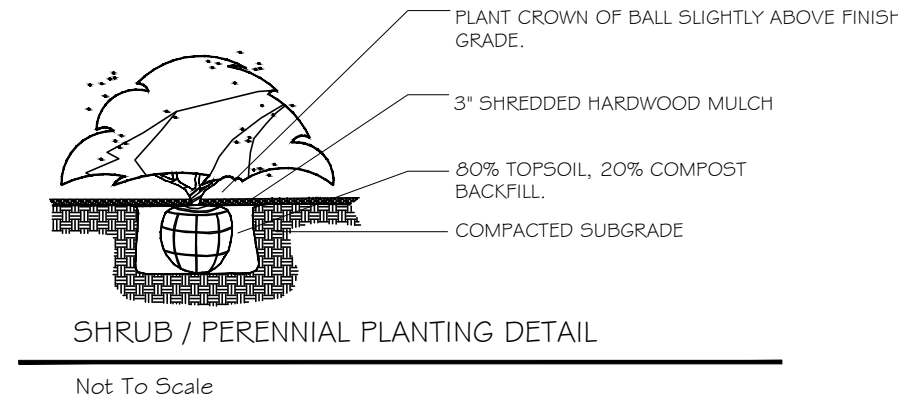
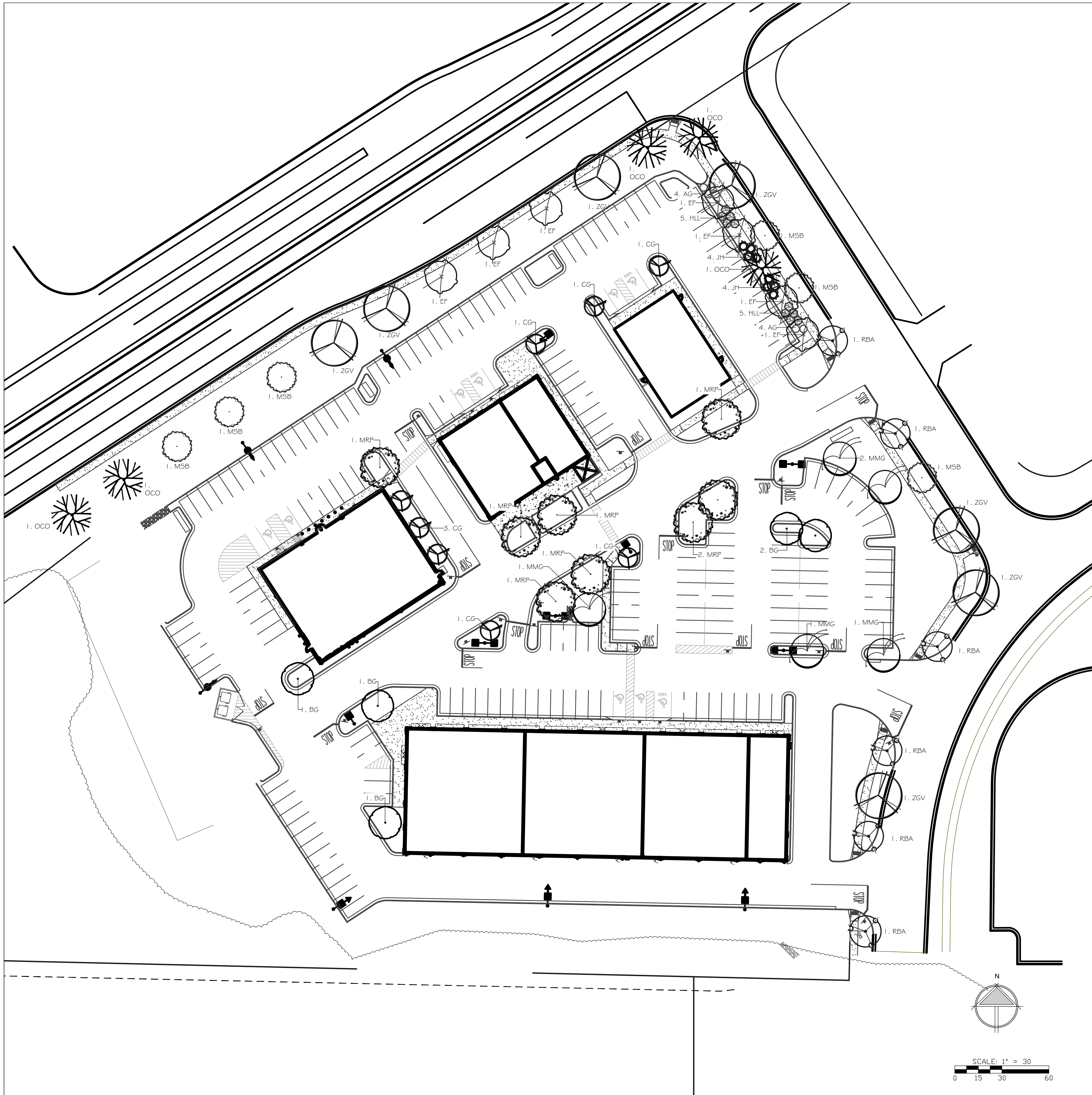
Symbol	Qty	Label	Total Lamp Lumens	LLF	Description	Lum. Watts
●	3	A	N.A.	0.950	WLS-MIR-SW-LED-HO-40 25' MOUNTING HEIGHT	244
●	4	B	N.A.	0.950	WLS-MIR-SW-LED-HO-40 25' MOUNTING HEIGHT	244
●	3	C	N.A.	0.950	WLS-MIR-3-LED-HO-40-IL 25' MOUNTING HEIGHT	241.3
●	6	D	N.A.	0.950	WLS-MIR-PT-LED-HO-40-IL 25' MOUNTING HEIGHT	241.3
●	1	F	N.A.	0.950	WLS-MIR-2-LED-HO-40-IL 25' MOUNTING HEIGHT	239.2

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

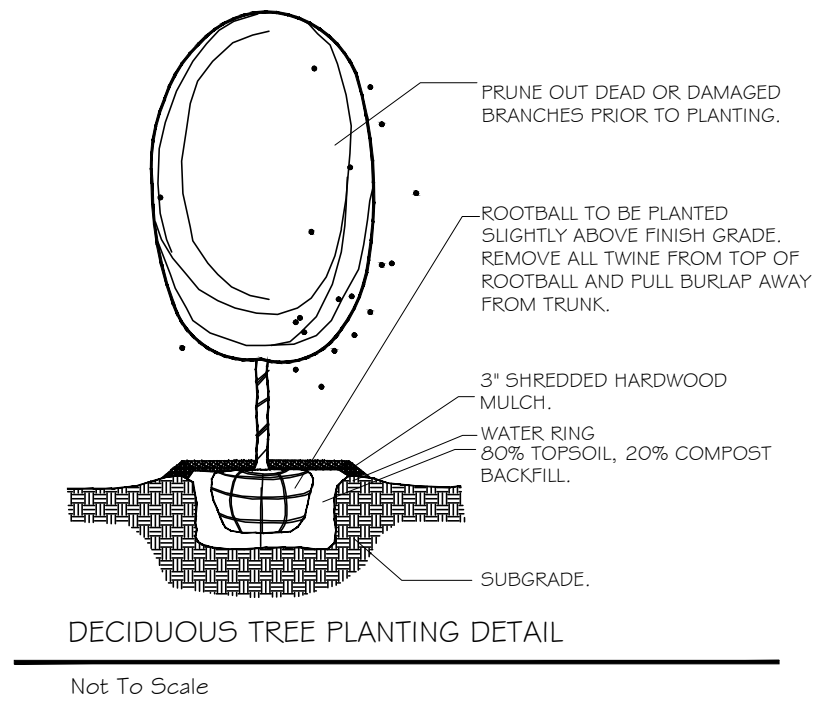
**RED OAK MARKETPLACE
COLUMBIA, MO**

WLS LIGHTING SYSTEMS
Consider the Impact!

1919 WINDSOR PLACE
FORT WORTH, TX 76110
www.wlslighting.com



SHRUB / PERENNIAL PLANTING DETAIL
Not To Scale



DECIDUOUS TREE PLANTING DETAIL
Not To Scale

PLANTING SCHEDULE:

QUANTITY	SYMBOL	PLANT SPECIES	SIZE
5	OCO	OVERCUP OAK	2"
7	ZGV	ZELKOVIA 'GREEN VASE'	2"
6	MSB	MAGNOLIA 'SWEETBAY'	6-8"
7	EF	ELM 'FRONTIER'	2"
8	CG	CRABAPPLE 'GUNEVERE'	2"
8	MRP	RED MAPLE 'RED POINTE'	2"
5	MMG	MAGNOLIA 'MOONGLOW'	6-8"
5	BC	BLACK GUM	2"
6	RBA	REDBUD 'APPALACHIAN'	2"
8	JH	JUNIPER 'HILLSPIRE'	6"
10	HLL	HYDRANGEA 'LITTLE LIME'	5 GAL
6	AG	ADARGO GRASS	5 GAL

LANDSCAPE COMPLIANCE:

TOTAL PAVED AREA:	102,765 SQ. FT.
TREES REQUIRED @ 1 TREE PER 4,000 S.F.:	26 TREES
TOTAL BUFFER AREA:	1,000 SQ. FT.
TREES REQUIRED @ 1 TREE EVERY 200 SQ. FT.:	5 TREES
TOTAL STREET FRONTAGE:	1,039 L.F.
TREES REQUIRED @ 1 TREE EVERY 40 L.F.:	26 TREES
TOTAL TREES REQUIRED:	57 TREES
MEDIUM TO LARGE TREES REQUIRED (60%):	31 TREES
TOTAL TREES PROPOSED:	57 TREES
MEDIUM TO LARGE TREES PROPOSED:	43 TREES

THE PLANT LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND IF A DISCREPANCY EXISTS THE PLAN SHALL GOVERN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO +/-0.10 FOOT OF FINISHED GRADE. PLANTING BACK FILL MIX IS TO CONSIST OF 80% NATIVE TOPSOIL, AND 20% ORGANIC MATTER. SHRUB BEDS, BERMS, AND TREE WELLS ARE TO BE MULCHED WITH 3-4" DYED HARDWOOD MULCH. ALL DISTURBED AREAS TO BE HYDROSEEDDED FESCUE. ALL SEEDDED AREAS WITH A SLOPE OF 2:1 OR GREATER SHALL BE CONTROLLED WITH EROSION CONTROL NETTING. LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWELVE MONTHS. ALL PLANTING BEDS AND TREE RINGS TO BE SEPERATED FROM TURF AREAS BY 'V' TRENCHING. ALL PLANT MATERIAL MUST MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. TREE LOCATIONS MAY BE SHIFTED AS NEEDED TO AVOID UTILITIES AND STRUCTURES



2450 TRAILS WEST AVENUE
COLUMBIA, MO 65202
(573) 445-4465

WWW.ROSTLANDSCAPING.COM

LANDSCAPE DEVELOPMENT FOR
RED OAK MARKETPLACE
1401 GRINDSTONE DR., COLUMBIA, MO 65203

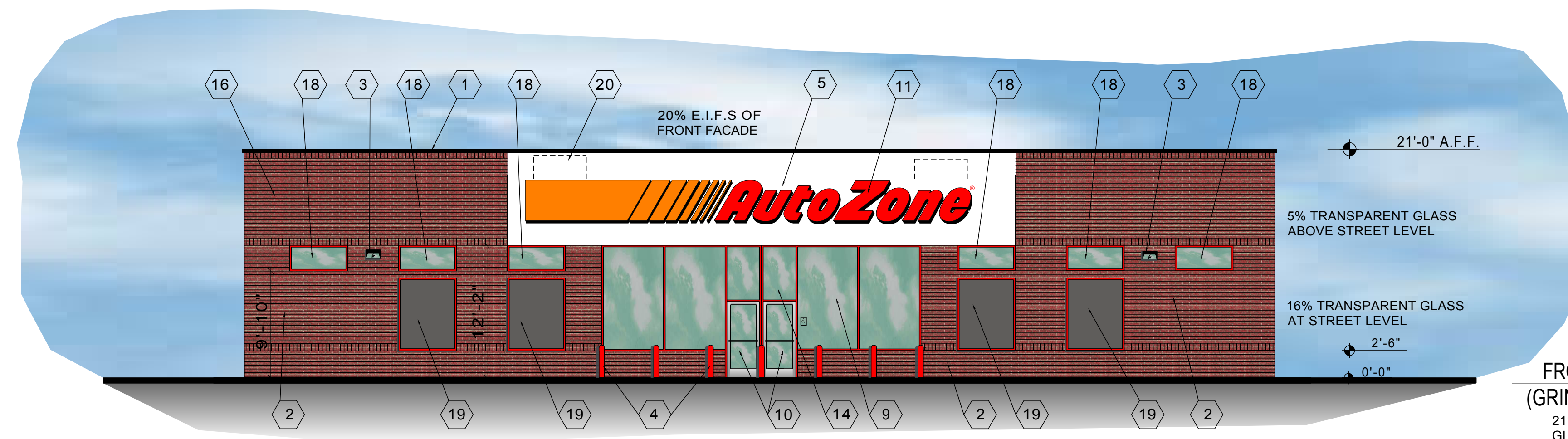
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DESIGNER: JP
SCALE: 1"=30'-0"

REVISIONS:
11.7.17

SHEET NUMBER:
LS1

PROJECT NUMBER:
JPCAD2017

REPRODUCTION OF THESE PLANS IN WHOLE OR PART OR THE REPRODUCTION OF DERIVATIVE WORKS THEREOF WITHOUT THE WRITTEN PERMISSION OF ROST INC IS PROHIBITED.
USE OF THESE PLANS IS LIMITED TO THE CONSTRUCTION OF THIS PROJECT ONLY. USE OF THESE PLANS FOR ANY PURPOSE OTHER THAN USE ON THIS PROJECT IS STRICTLY PROHIBITED.

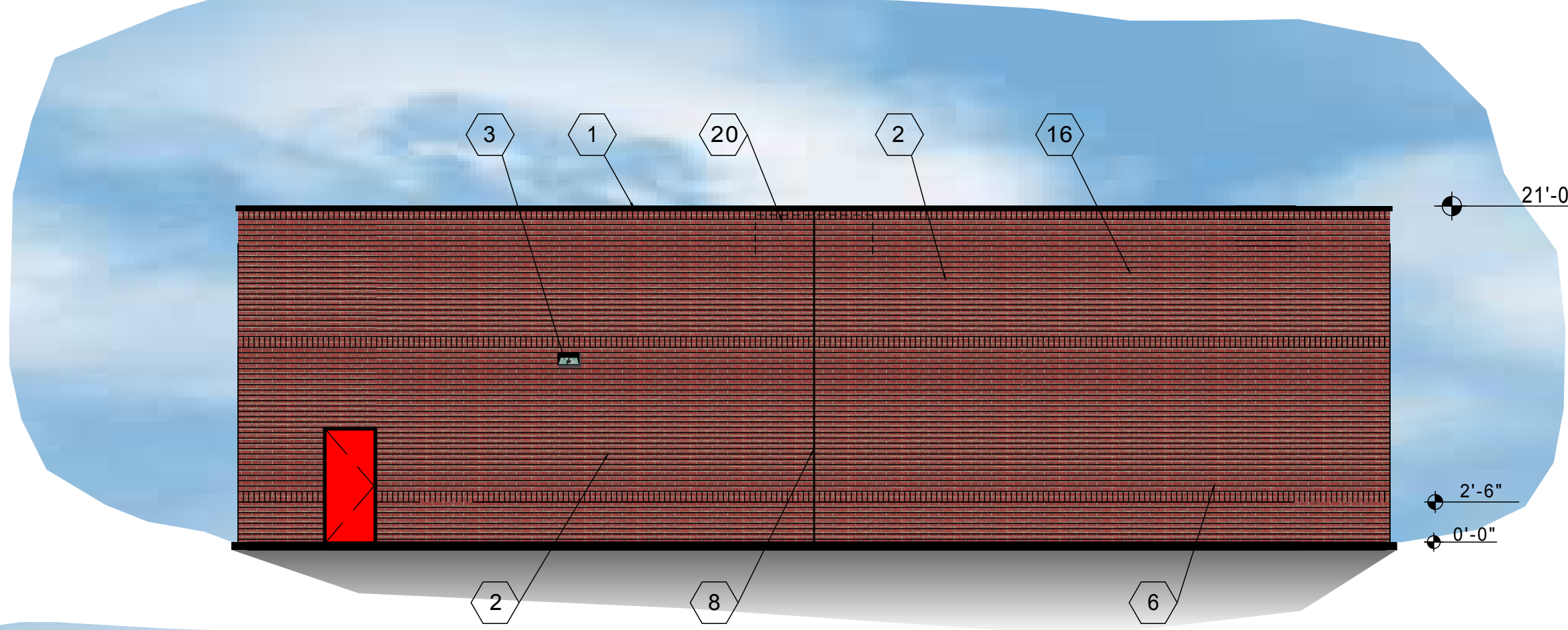


FRONT ELEVATION
(GRINDSTONE PKWY.)

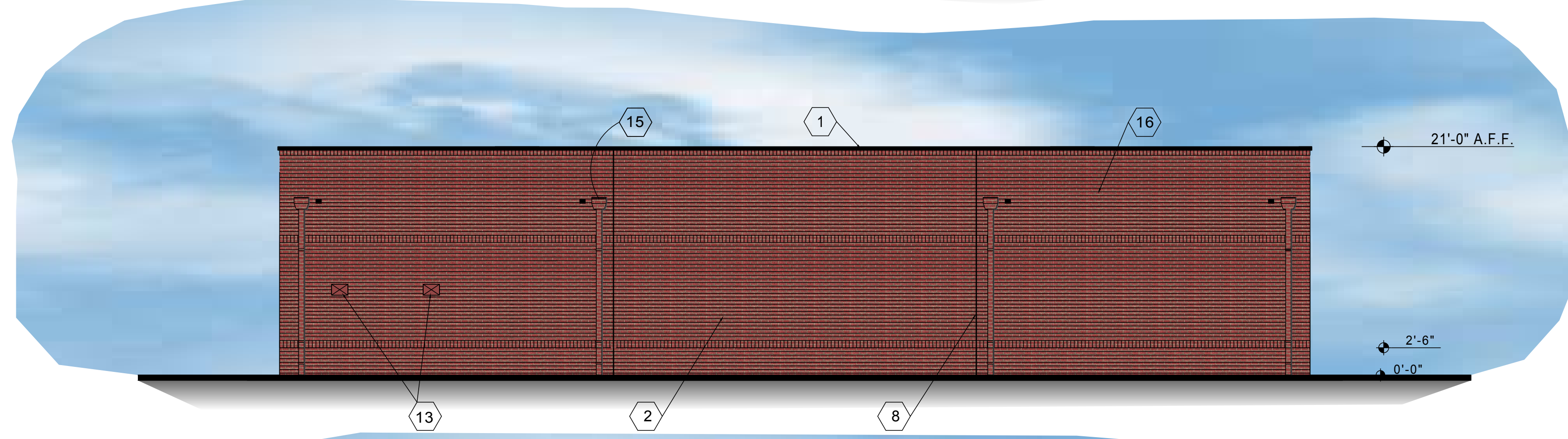
21% TRANSPARENT GLASS FACING PUBLIC STREET

NOTE: BLACKED OUT WINDOWS UNABLE TO BE TRANSPARENT DUE TO INTERIOR STORE FUNCTION AND LAYOUT.

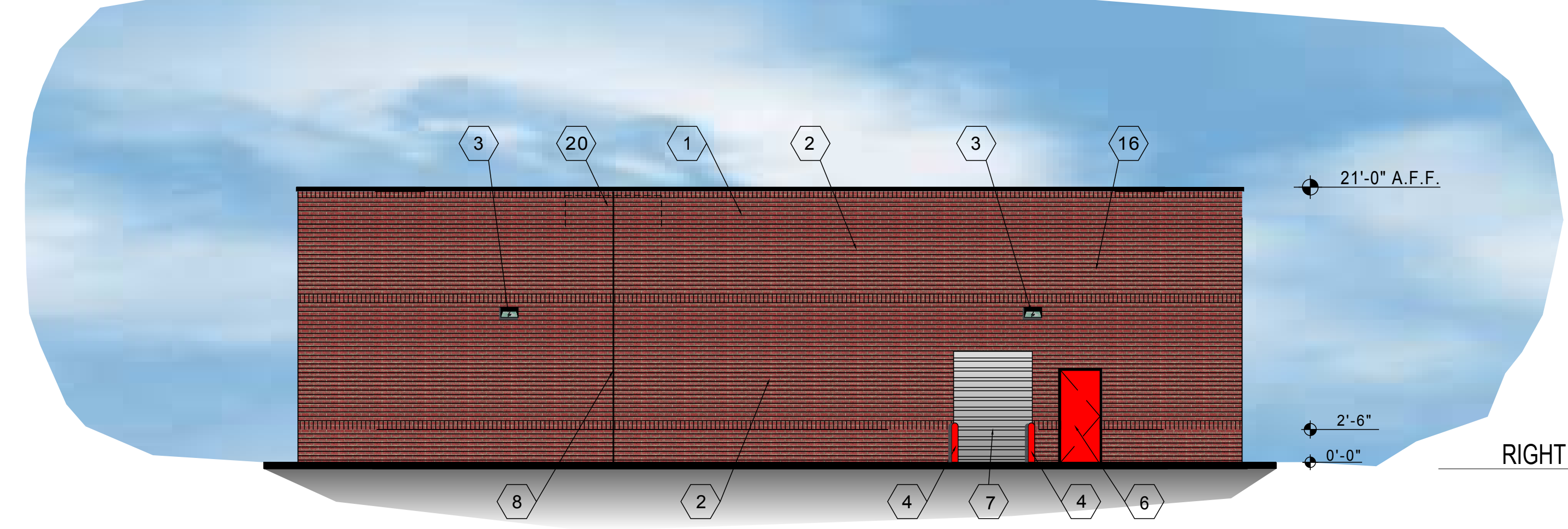
- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 BRICK VENEER UNITS
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" CHANNEL LSTRP
- 12 NOT USED
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOW LINE 2" ABOVE ROOF
- 16 BOND BEAM AT ROOF LINE
- 17 NOT USED
- 18 CLERESTORY WINDOW - EVERGREEN GLASS
- 19 FAUX WINDOW - OPAQUE BLACK GLASS
- 20 HVAC UNITS SCREENED BY PARAPET



LEFT ELEVATION

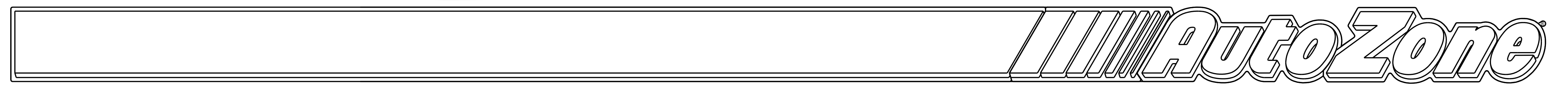


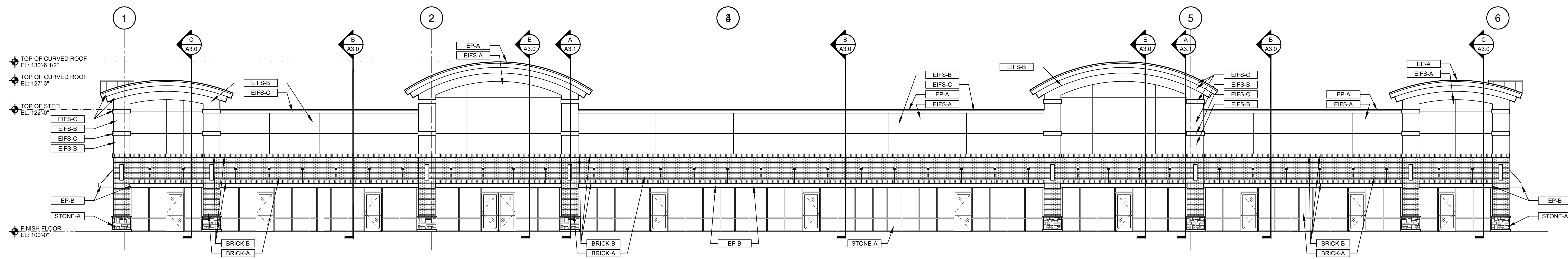
REAR ELEVATION



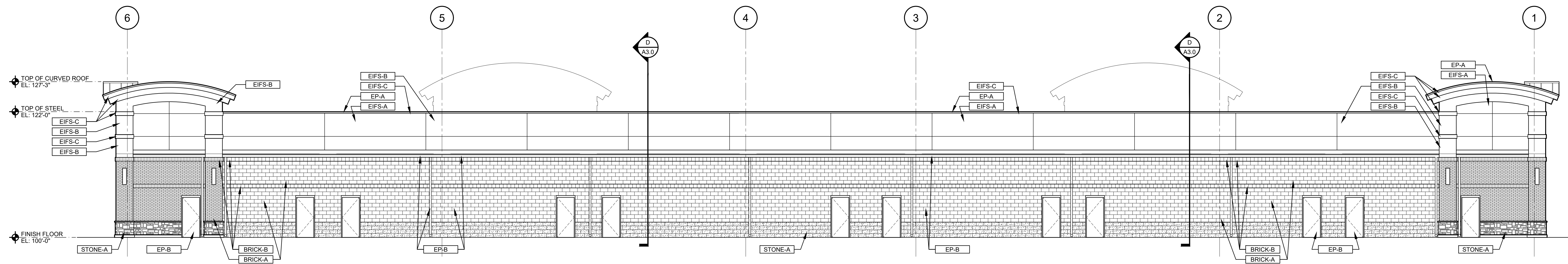
RIGHT ELEVATION

Color Elevation
AutoZone Store #6058
Columbia, MO

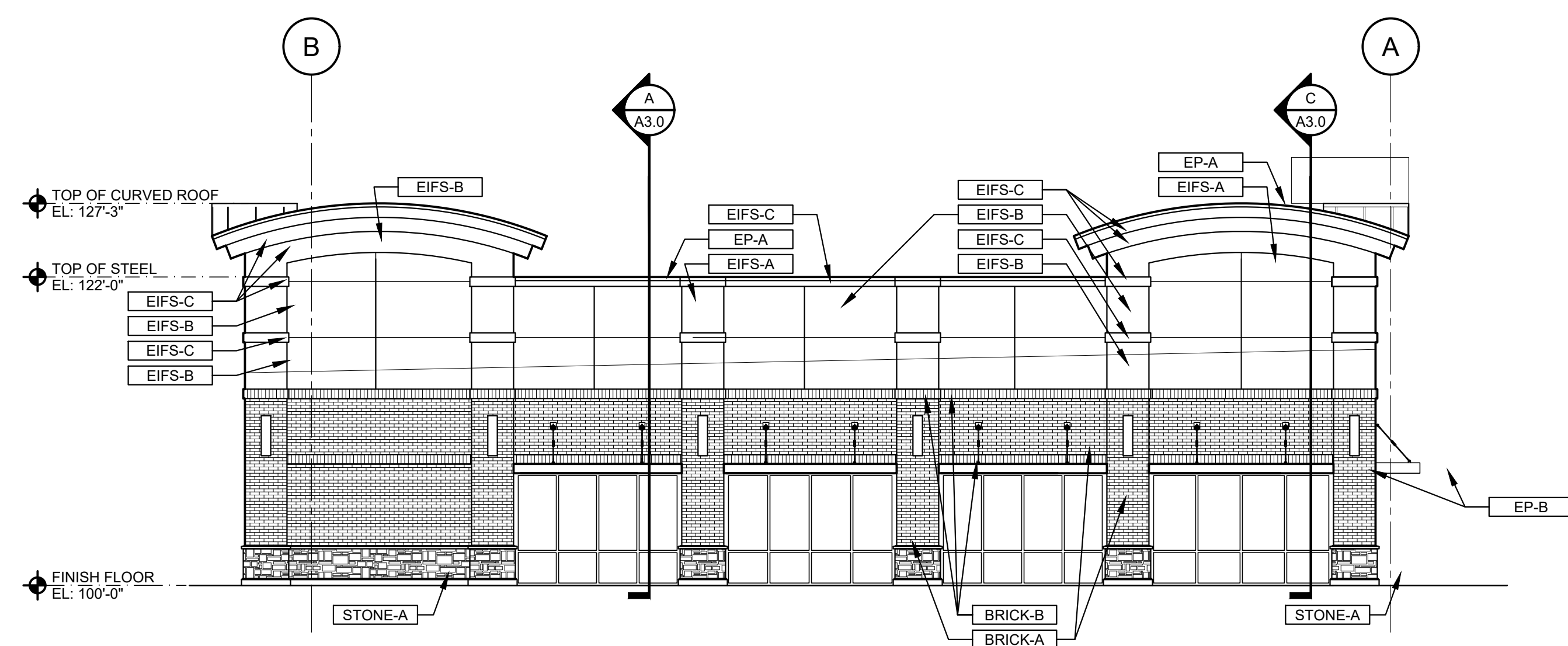




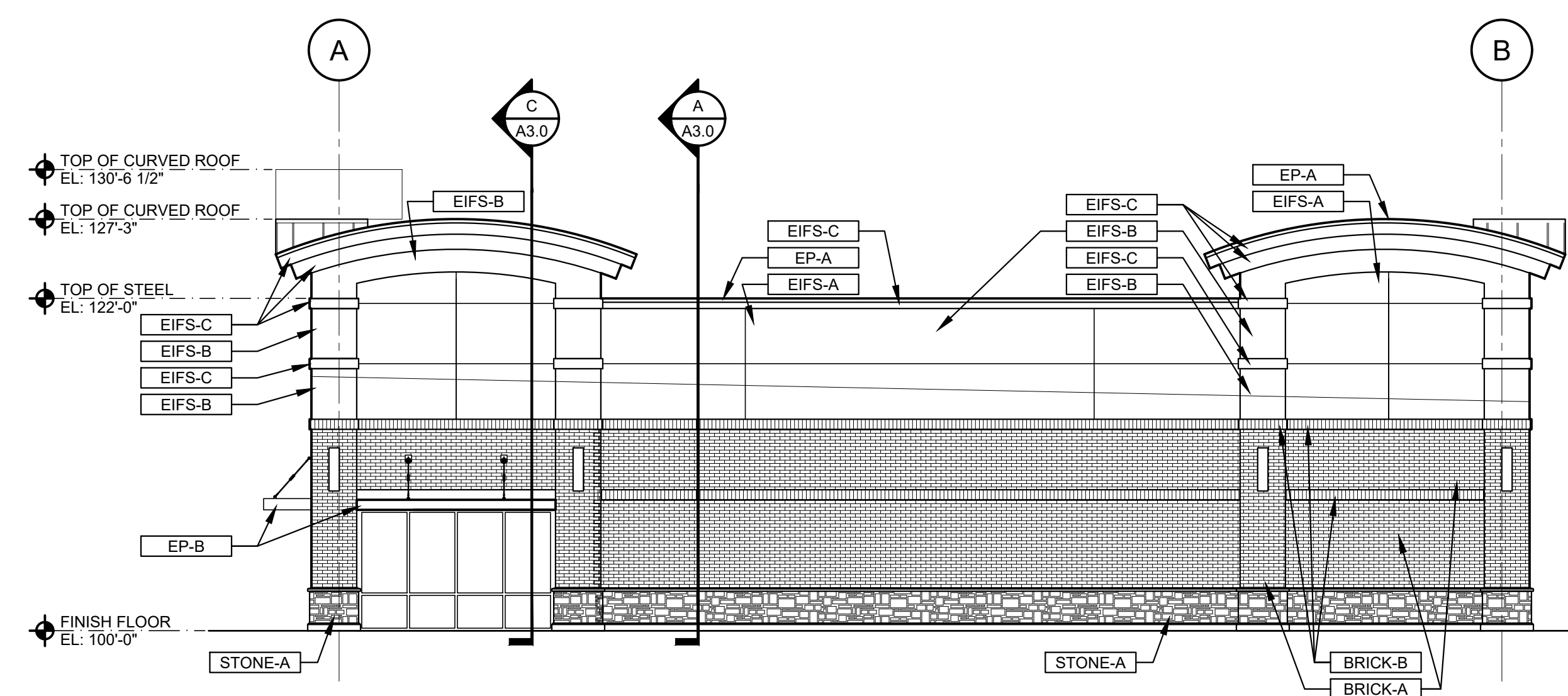
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 A2.0 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"

EXTERIOR PAINT & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EIFS-A	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
EIFS-B	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
EIFS-C	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
BRICK-A	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
BRICK-B	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
STONE-A	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAIN TO MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAIN TO DARK BRONZE	

PROJECT: AMERICAN REALTY SHOPPING CENTER
 GRINDSTONE PARKWAY AT NORFLEET DRIVE
 COLUMBIA, MO 65215
 COUNTY: BOONE COUNTY

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROFESSIONAL OF RECORD

Project No: **917472**
 Permit Date: 03/15/17 Bid Date: X
 Scale: SHEET TITLE

EXTERIOR ELEVATIONS BLDG 'A'
 SCALE: VARIES (DO NOT SCALE DRAWINGS)

SHEET NUMBER
A2.0

REVISIONS	

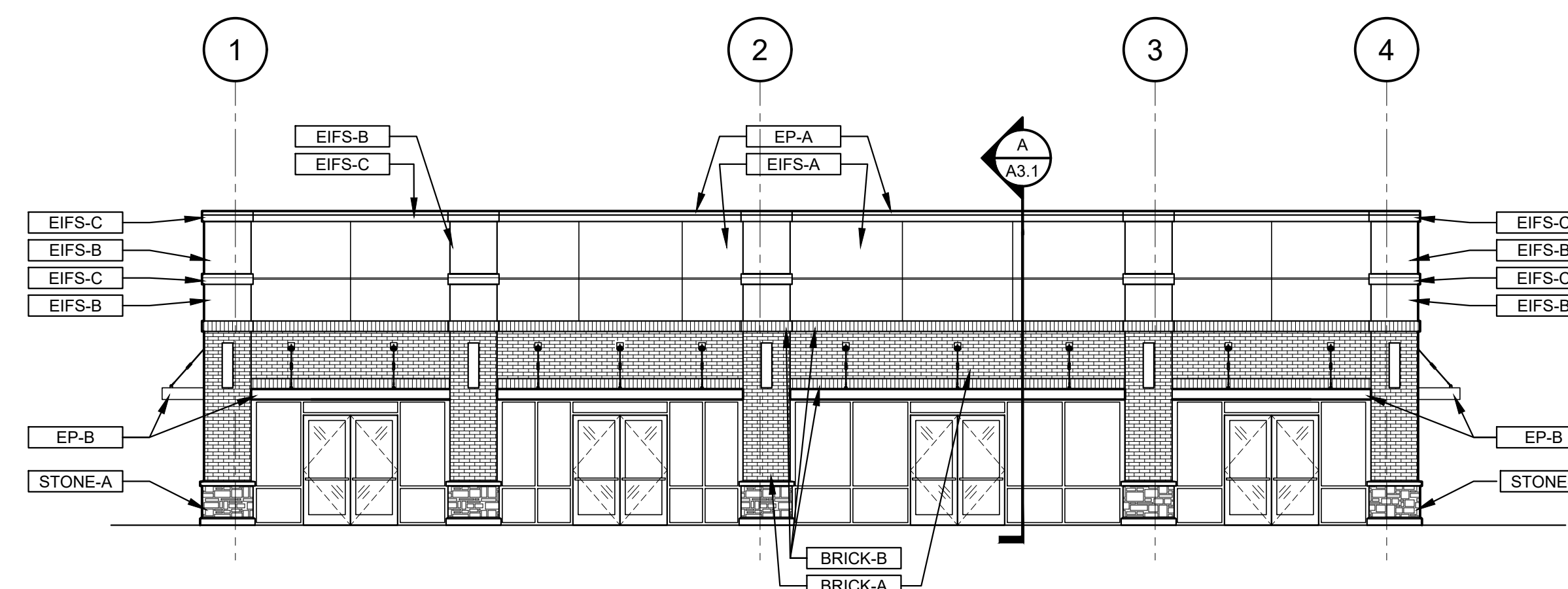
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PROFESSIONAL OF RECORD

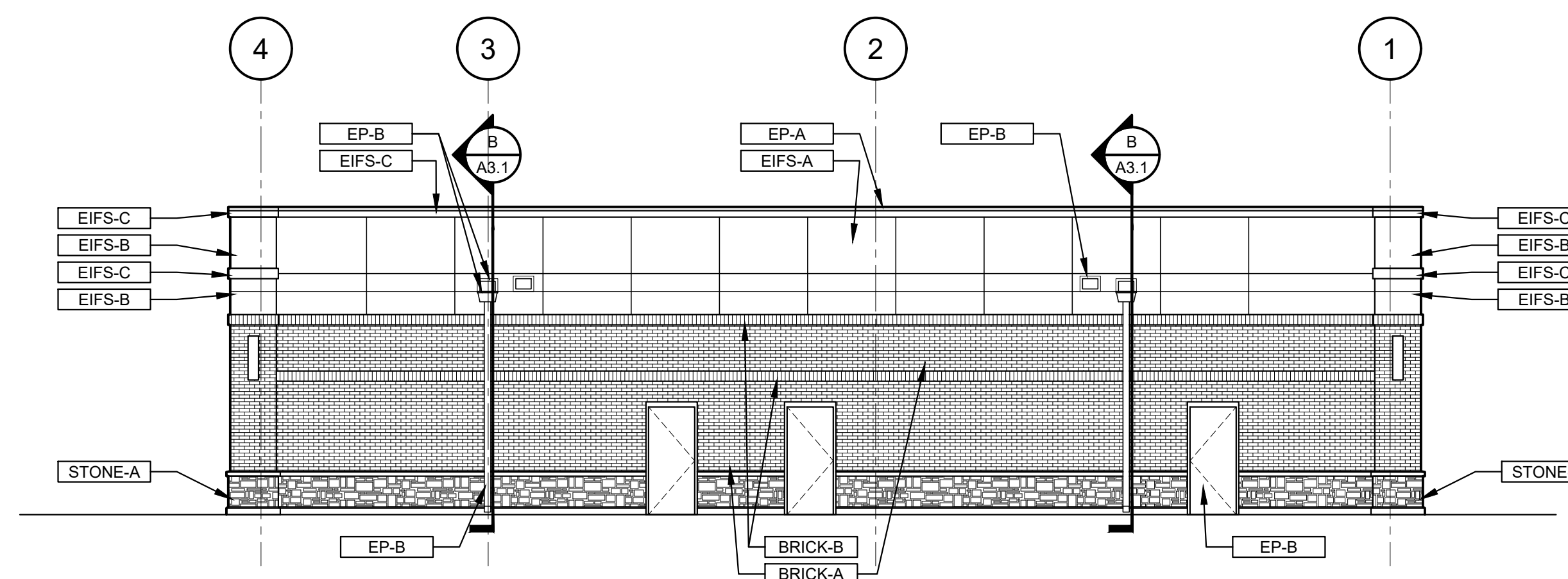
Project No: 917472
 Permit Date: 03/15/17 Bid Date: X
 Scale:

SHEET TITLE
EXTERIOR ELEVATIONS BLDG 'B'
 SCALE: VARIES
 (DO NOT SCALE DRAWINGS)

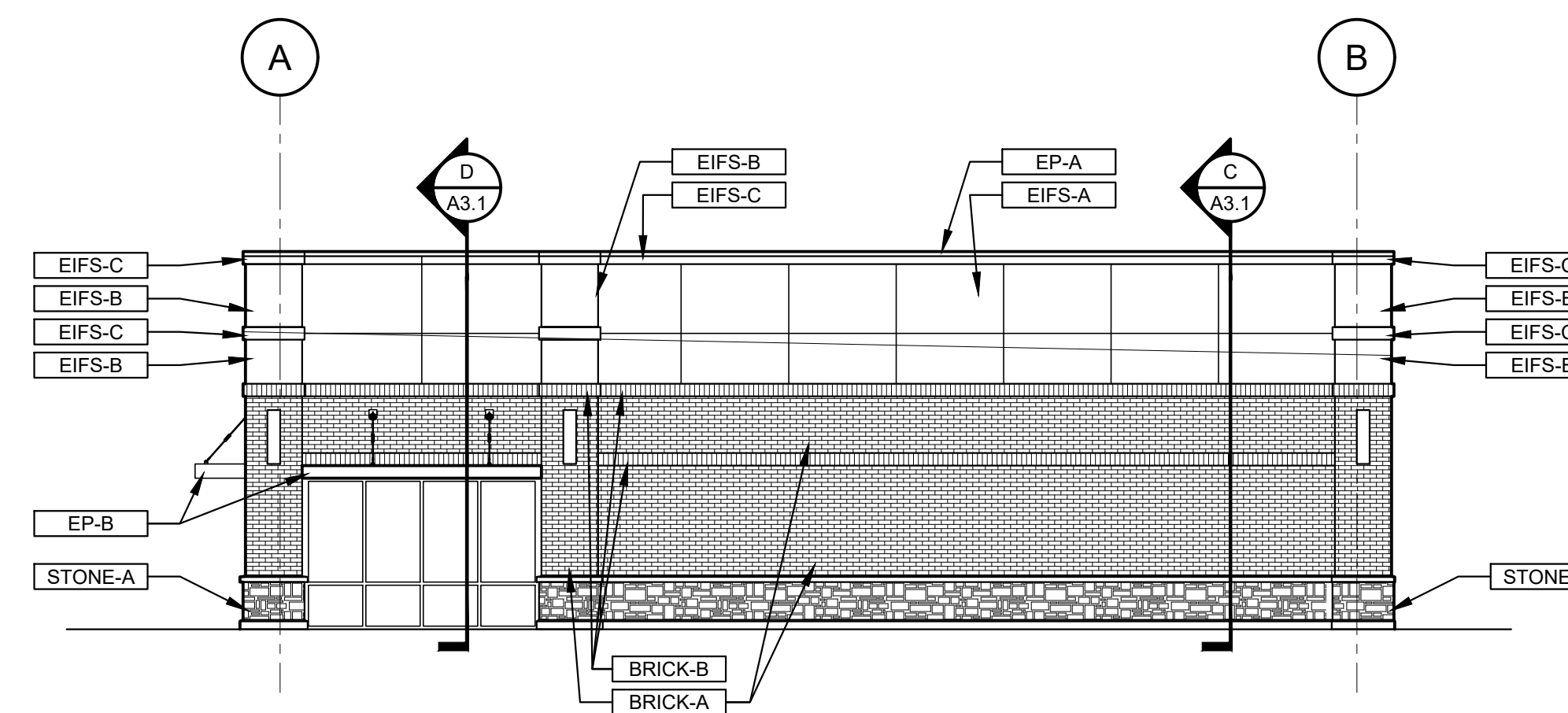
SHEET NUMBER
A2.1



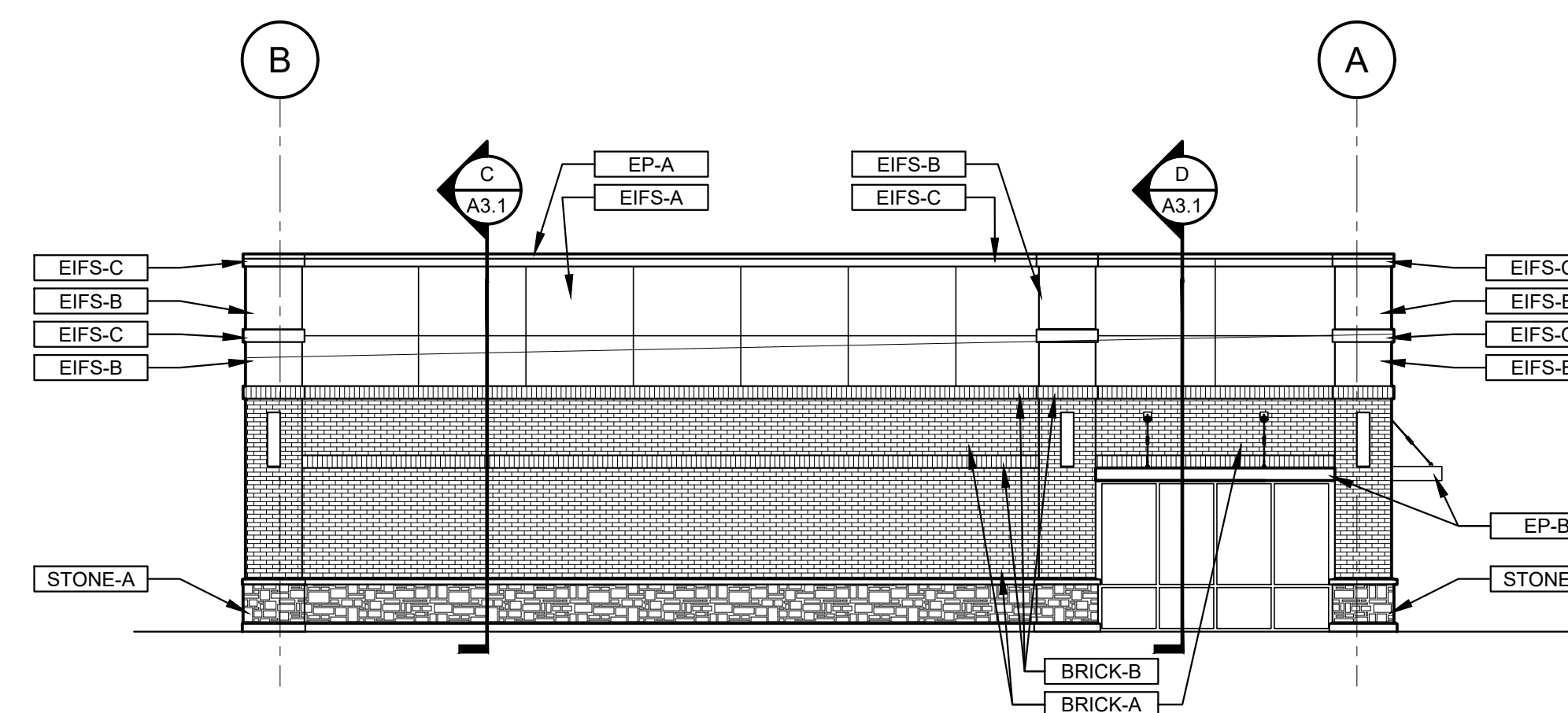
1 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

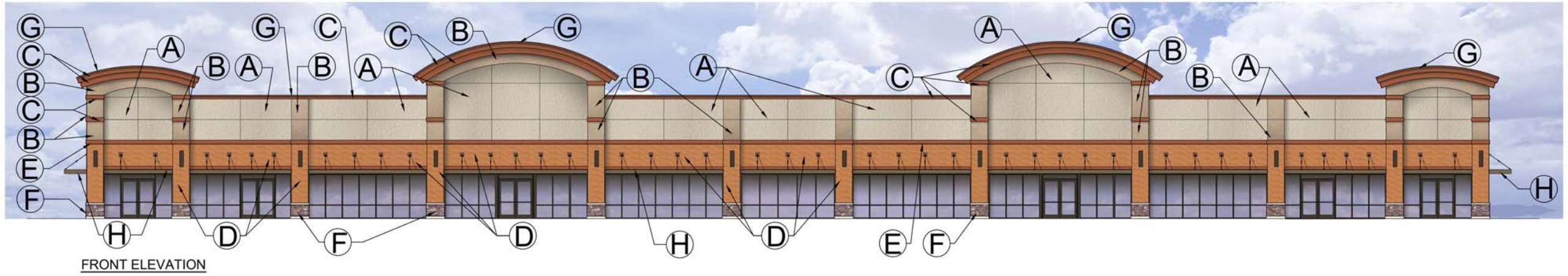


3 RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
EIFS-A	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
EIFS-B	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
EIFS-C	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
BRICK-A	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
BRICK-B	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
STONE-A	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
EP-A	METAL COPING, STANDING SEAM METAL ROOF		PAINT TO MATCH VARCO PRUDEN - COOL COLONIAL RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	



A-DRYVIT #455a PEARL



D-BRICK #100 BURNT PUMPKIN



F-STONE TORINO



B-DRYVIT #399 COFFEE MILK



E-BRICK #106 DENVER CLARET



G-METAL McELROY METAL - AUTUMN RED

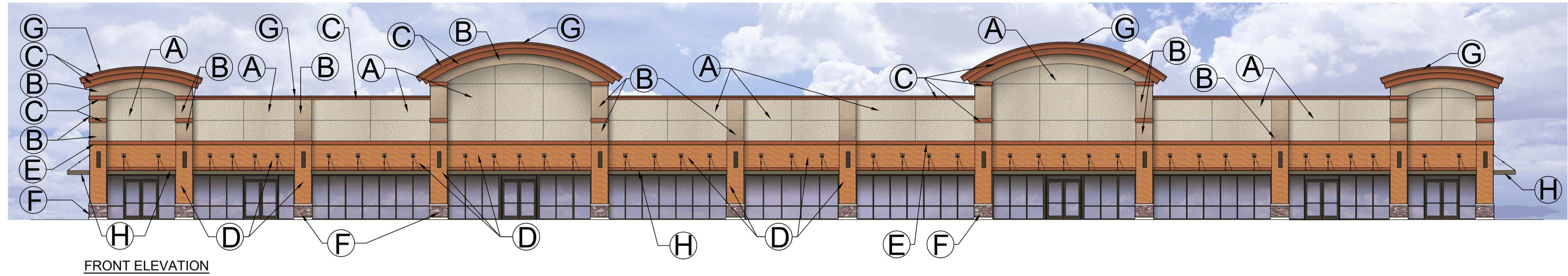


C-DRYVIT #357a SAND DOLLAR

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
A-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
B-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
C-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
D-BRICK	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
E-BRICK	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
F-STONE	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
G-METAL	METAL COPING, STANDING SEAM METAL ROOF		McELROY METAL - AUTUMN RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

AMERICAN REALTY SHOPPING CENTER
GRINDSTONE PARKWAY AT NORFLEET DRIVE
COLUMBIA, MO

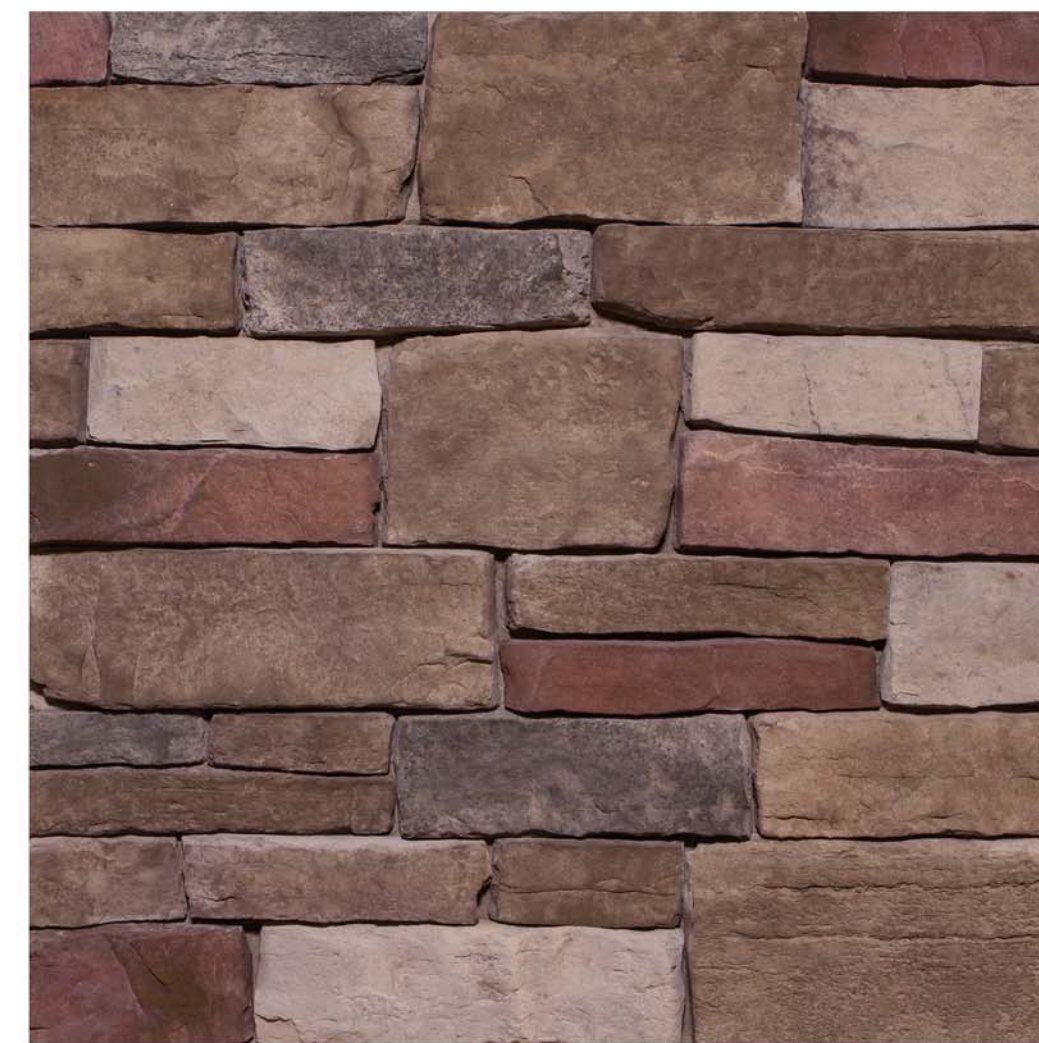




A-DRYVIT #455a PEARL



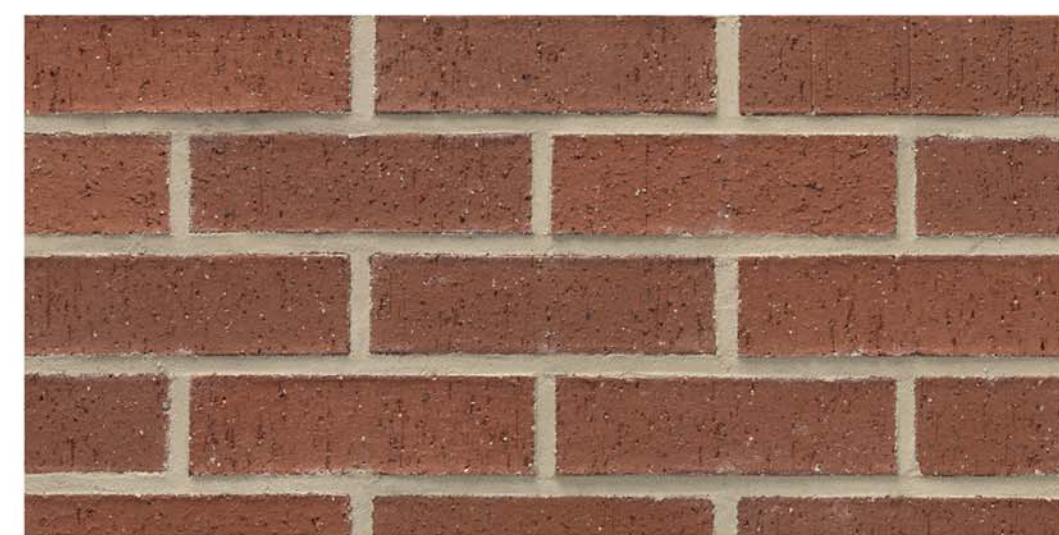
D-BRICK #100 BURNT PUMPKIN



F-STONE TORINO



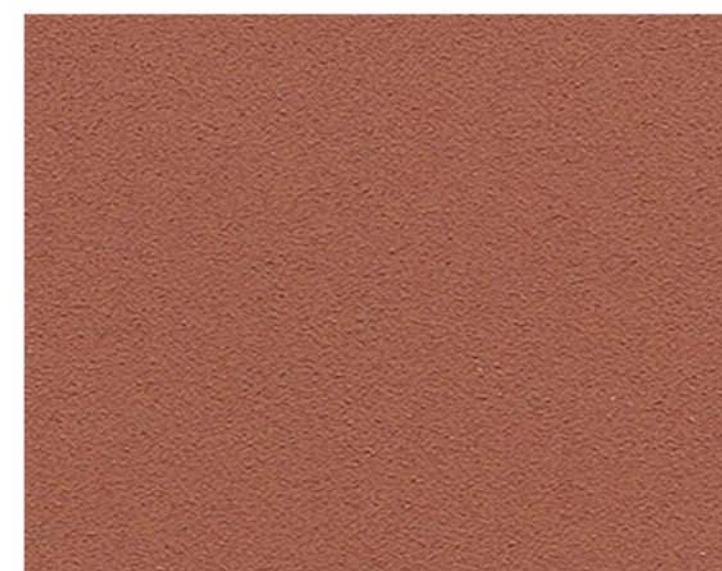
B-DRYVIT #399 COFFEE MILK



E-BRICK #106 DENVER CLARET



G-METAL McELROY METAL - AUTUMN RED

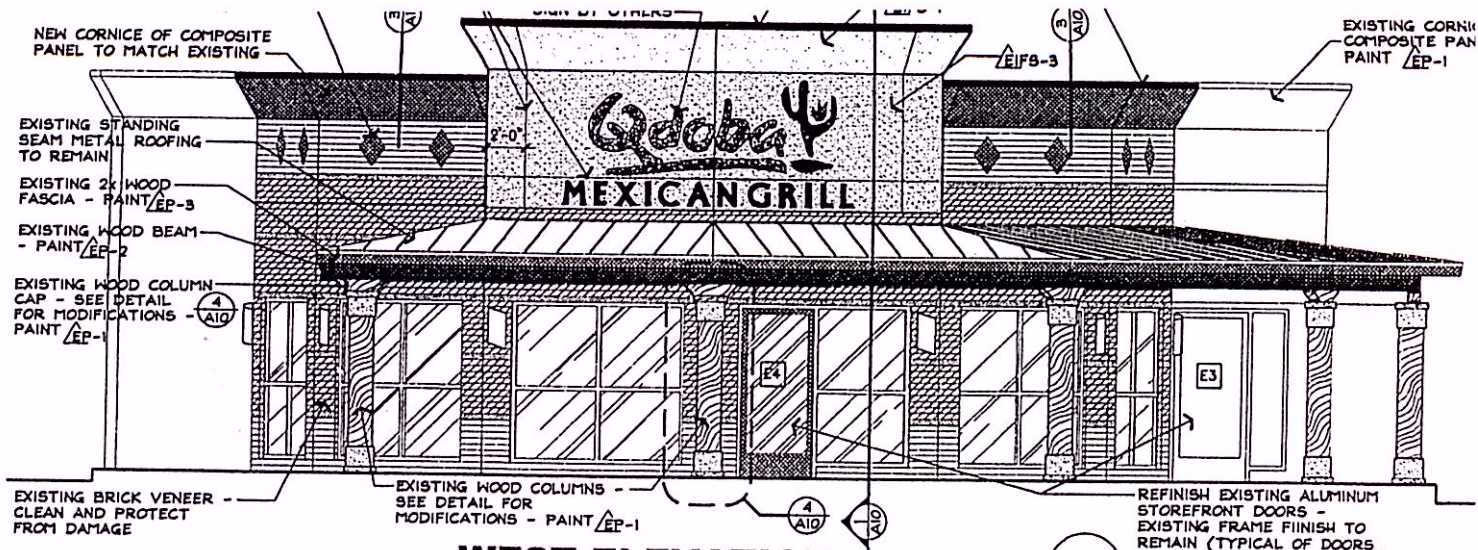


C-DRYVIT #357a SAND DOLLAR

EXTERIOR PAINT & FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	COLOR	REMARKS
A-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#455a PEARL	
B-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#399 COFFEE MILK	
C-EIFS	EXTERIOR INSULATION & FINISH SYSTEM, TEXTURE TO BE SAND PEBBLE FINE	DRYVIT	#357a SAND DOLLAR	
D-BRICK	FACE BRICK VENEER, VELOUR TEXTURE	ACME - DENTON PLANT	#100 BURNT PUMPKIN	
E-BRICK	SOLDIER BRICK, VELOUR TEXTURE	ACME - DENTON PLANT	#106 DENVER CLARET	
F-STONE	STACKED STONE VENEER, WEATHER LEDGE	DUTCH QUALITY STONE	TORINO	
G-METAL	METAL COPING, STANDING SEAM METAL ROOF		McELROY METAL - AUTUMN RED	
EP-B	CANOPY, EXTERIOR DOORS, GUTTER, SCUPPERS, CONDUCTOR HEAD, & DOWNSPOUTS		PAINT TO DARK BRONZE	

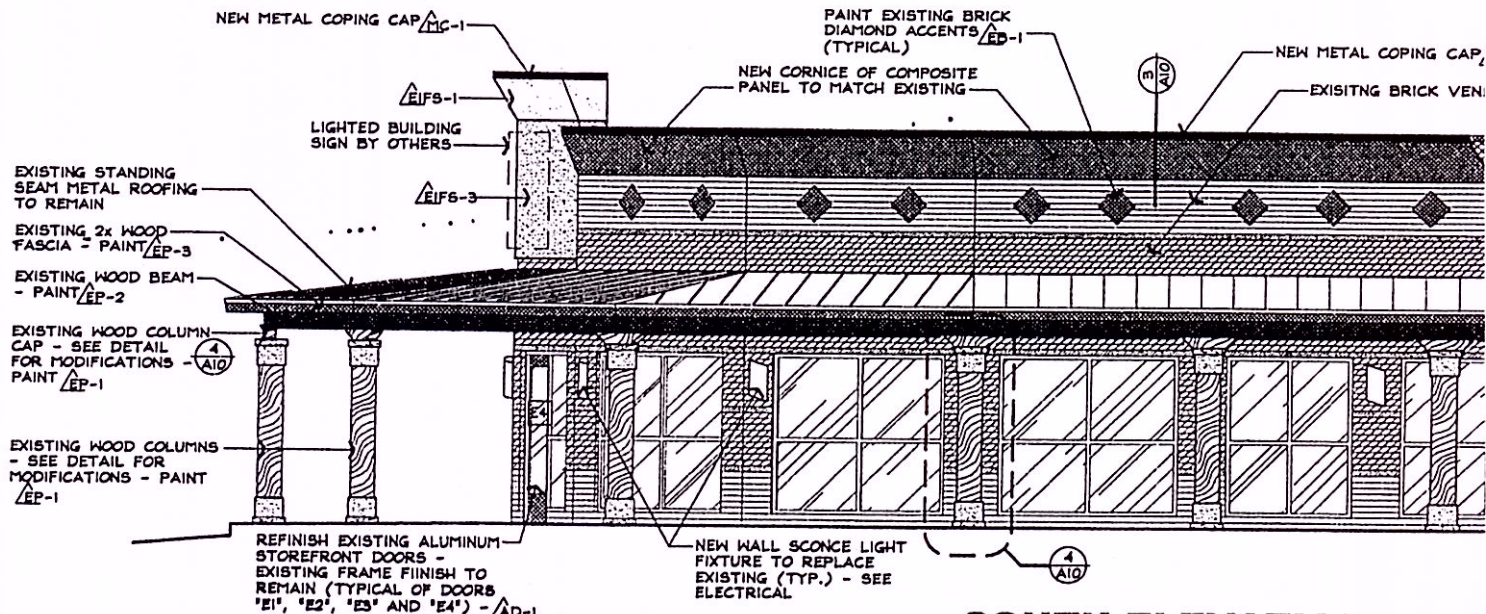
AMERICAN REALTY SHOPPING CENTER
GRINDSTONE PARKWAY AT NORFLEET DRIVE
COLUMBIA, MO





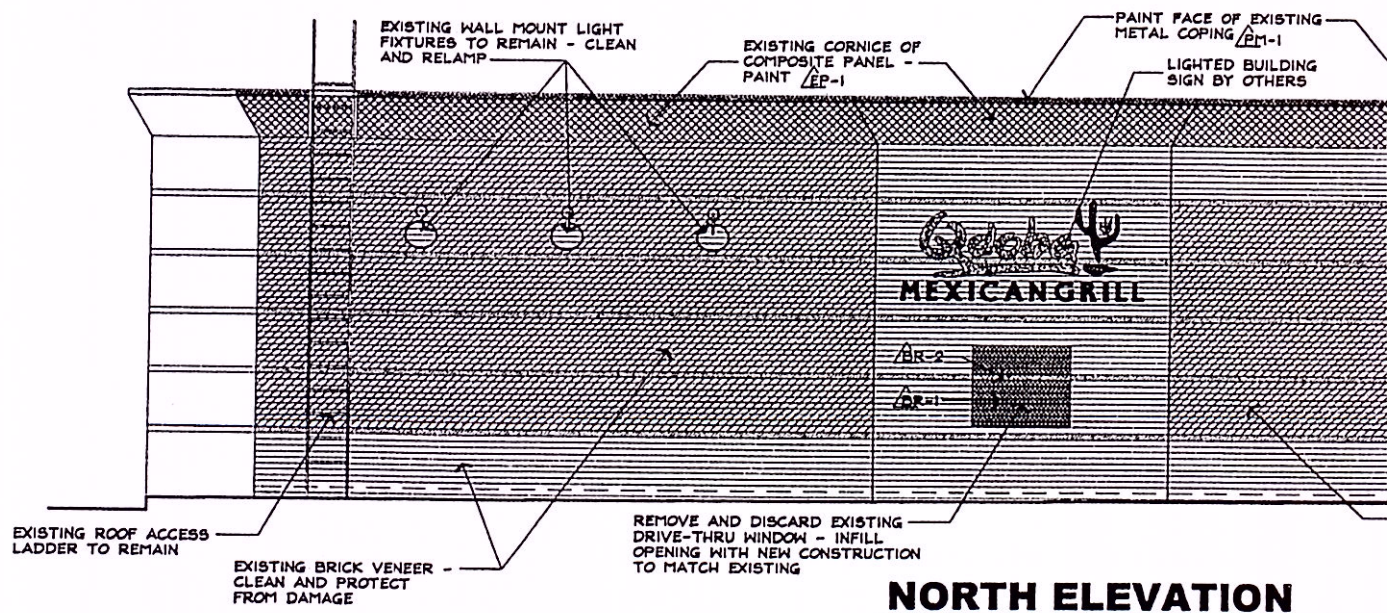
WEST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"



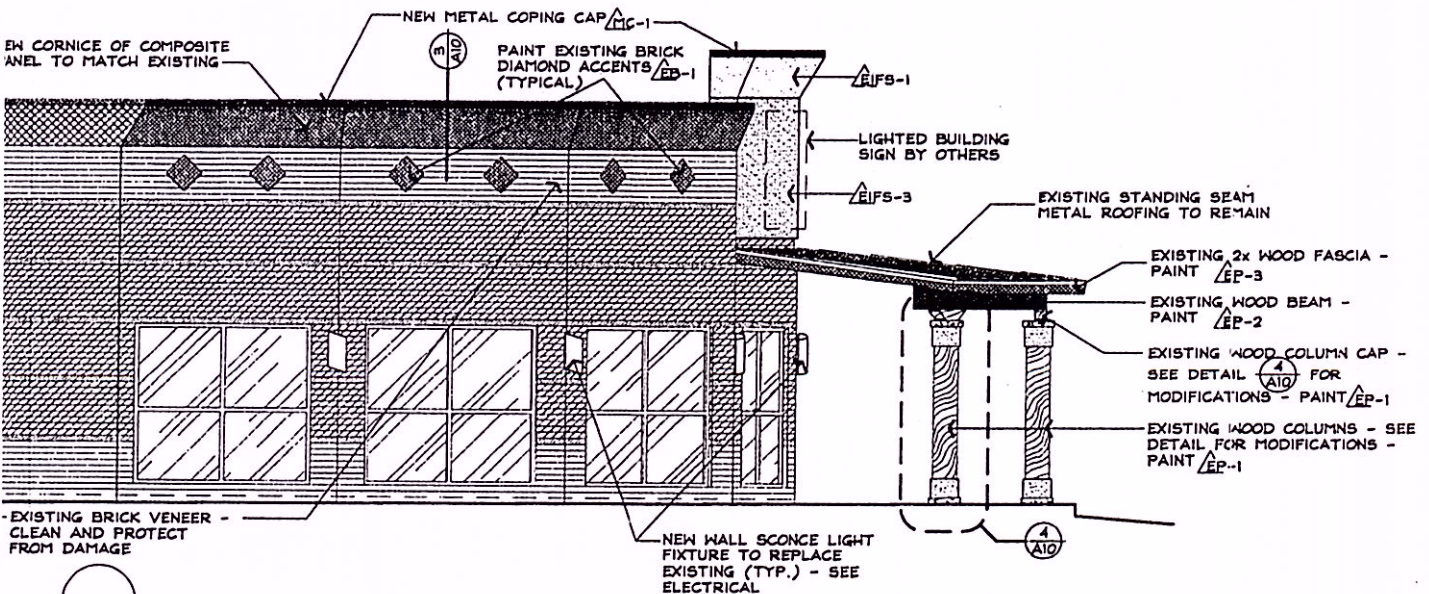
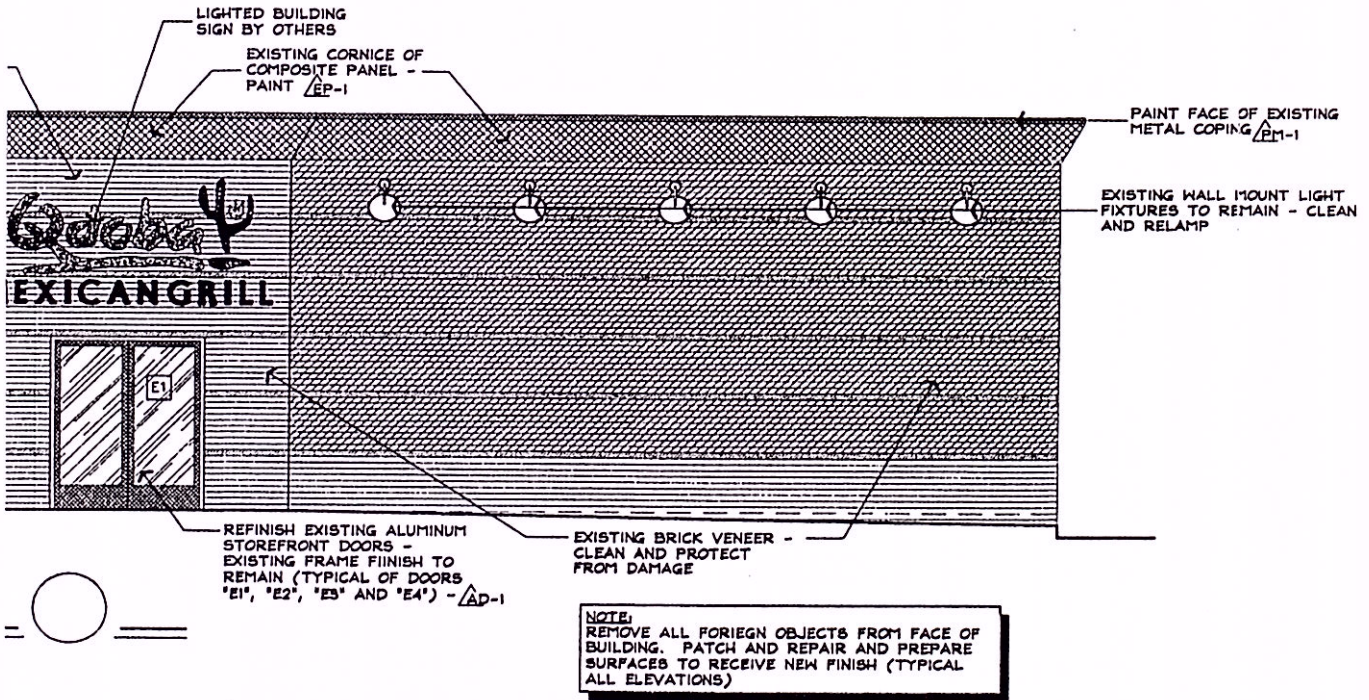
NORTH ELEVATION

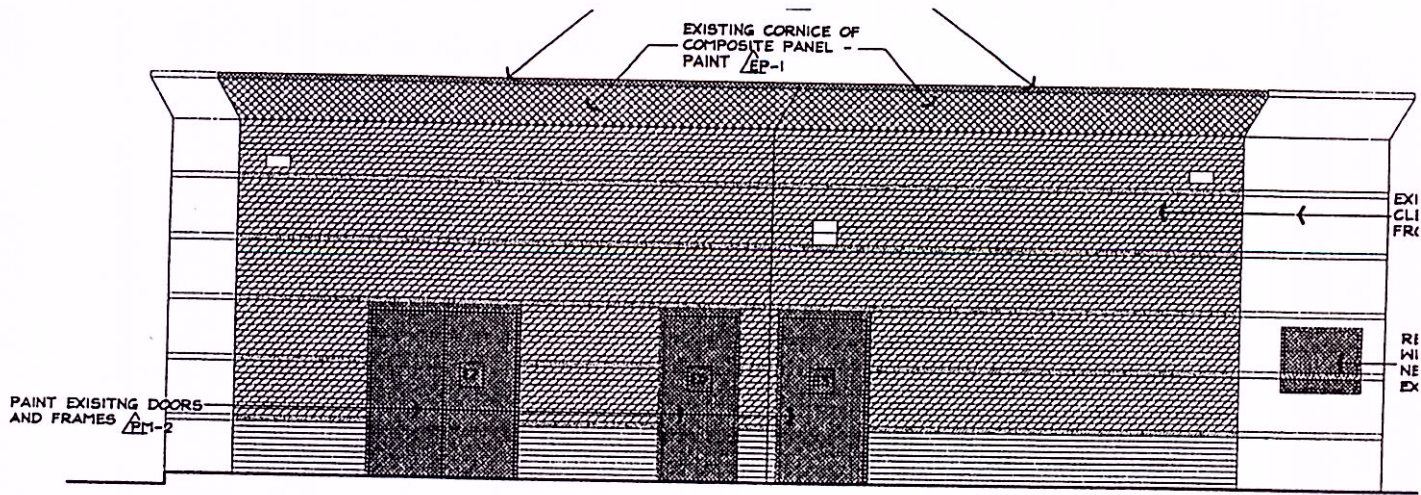
1/4" = 1'-0"

EXTERIOR FINISH MATERIALS

- △PM-1 EXTERIOR PAINT (METAL); EQUAL TO 'SHERWIN WILLIAMS' ALKYD ENAMEL (SEMI-GLOSS) - COLOR SW-6669, YARROW - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. PAINT BARE METAL SURFACES WITH (1) COAT ALKYD PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △PM-2 EXTERIOR PAINT (METAL); EQUAL TO 'SHERWIN WILLIAMS' ALKYD ENAMEL (SEMI-GLOSS) - COLOR SW-2917, CLAY POT - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. PAINT BARE METAL SURFACES WITH (1) COAT ALKYD PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △PM-3 EXTERIOR PAINT (METAL); EQUAL TO 'SHERWIN WILLIAMS' ALKYD ENAMEL (SEMI-GLOSS) - COLOR SW-6386, NAPERY - PAINT BARE METAL SURFACES WITH (1) COAT ALKYD PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △EP-1 EXTERIOR PAINT; EQUAL TO 'SHERWIN WILLIAMS' LATEX ENAMEL (SEMI-GLOSS) - COLOR SW-6386, NAPERY - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. RECAULK JOINTS. PAINT BARE SURFACES WITH (1) COAT PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △EP-2 EXTERIOR PAINT; EQUAL TO 'SHERWIN WILLIAMS' LATEX ENAMEL (SEMI-GLOSS) - COLOR SW-2917, CLAY POT - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. RECAULK JOINTS. PAINT BARE SURFACES WITH (1) COAT PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △EP-3 EXTERIOR PAINT; EQUAL TO 'SHERWIN WILLIAMS' LATEX ENAMEL (SEMI-GLOSS) - COLOR SW-6669, YARROW - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. RECAULK JOINTS. PAINT BARE SURFACES WITH (1) COAT PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES.
- △EP-4 EXTERIOR PAINT; EQUAL TO 'SHERWIN WILLIAMS' LATEX ENAMEL (SEMI-GLOSS) - COLOR SW-7005, PURE WHITE - SCRAPE AND SAND EXISTING SURFACES AND CLEAN. RECAULK JOINTS. PAINT BARE SURFACES WITH (1) COAT PRIMER. PROVIDE (2) COATS FINISH PAINT ON EXPOSED SURFACES. (AT UNDERSIDE OF PATIO DINING CANOPY, INCLUDING RAFTERS AND DECKING.)

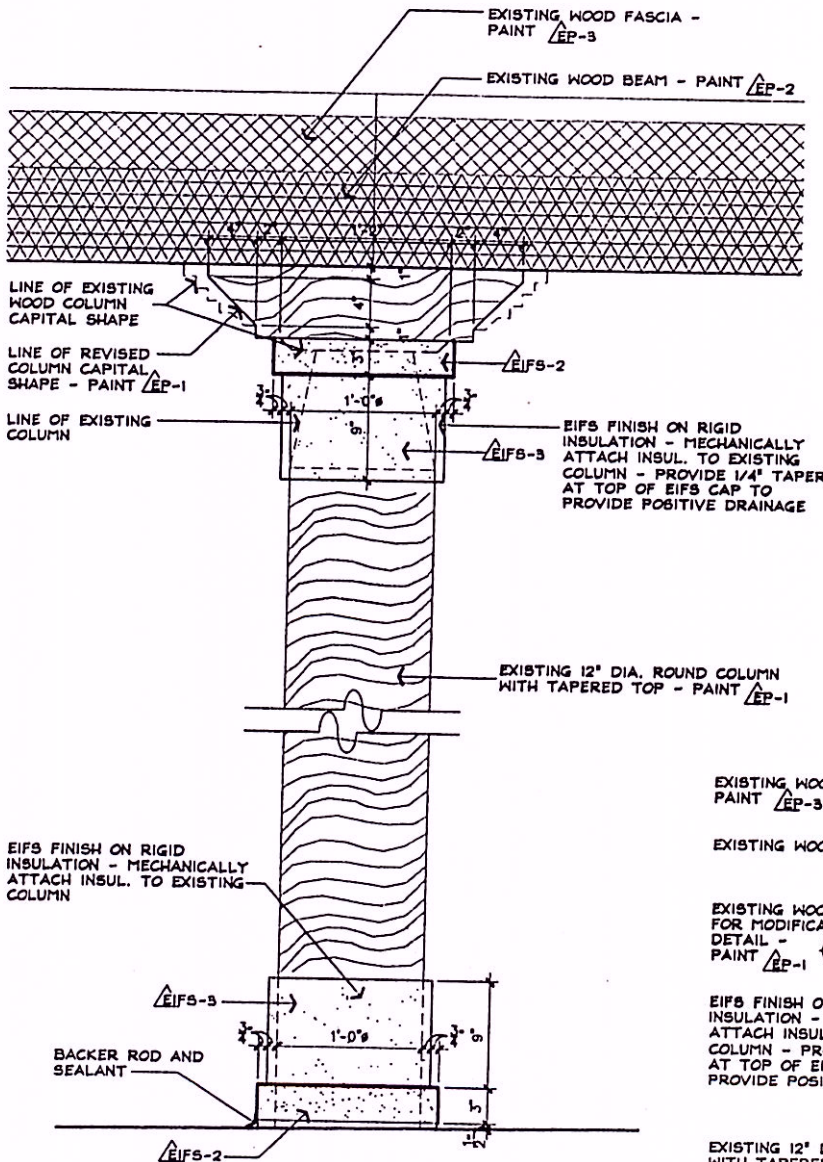
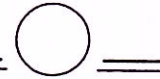
- △EFS-1 EXTERIOR INSULATION FINISH SYSTEM; EQUAL TO 'STO' 'CLASSIC-NEXT' SYSTEM ON 1 1/2" RIGID INSUL. W/ INTEGRAL AIR/MOISTURE BARRIER AND DRAINAGE TRACKS ON 5/8" REINF. EXT. GYP. SHEATHING, SUNBLAST FINIS - COLOR TO MATCH 'SHERWIN WILLIAMS' PAINT COLOR SW-2917, CLAY POT.
- △EFS-2 EXTERIOR INSULATION FINISH SYSTEM; EQUAL TO 'STO' 'CLASSIC-NEXT' SYSTEM ON RIGID INSULATION, SUNBLAST FINISH - COLOR TO MATCH 'SHERWIN WILLIAMS' PAINT COLOR SW-2917, CLAY POT.
- △EFS-3 EXTERIOR INSULATION FINISH SYSTEM; EQUAL TO 'STO' 'CLASSIC-NEXT' SYSTEM ON RIGID INSULATION, SUNBLAST FINISH - COLOR TO MATCH 'SHERWIN WILLIAMS' PAINT COLOR SW-6669, YARROW.
- △MC-1 METAL COPINGS; GALVANIZED METAL FLASHINGS - PAINT FACE OF FLASHING, COLOR EQUAL TO 'SHERWIN WILLIAMS' #SW-6669, YARROW.
- △BR-1 NEW BRICK VENEER; BRICK TO MATCH EXISTING DARK BRICK - VERIFY T MATCH EXISTING BRICK COLOR (ACME DTP-251) - MORTAR TO MATCH EXISTING MORTAR COLOR.
- △BR-1 NEW BRICK VENEER; BRICK TO MATCH EXISTING ACCENT BRICK - VERIFY T MATCH EXISTING BRICK COLOR (ACME DTP-241) - MORTAR TO MATCH EXISTING MORTAR COLOR.
- △AD-1 EXISTING ALUMINUM STOREFRONT DOORS; CLEAN EXISTING DOORS AND PREPARE FOR NEW FINISH. SEE FINISH SCHEDULE ON SHEET A5, ITEM 5-FOR FINISH TECHNIQUE.
- △EB-1 EXISTING BRICK (PAINT); EQUAL TO 'SHERWIN WILLIAMS' LATEX ENAMEL (SEMI-GLOSS) - COLOR SW-6386, NAPERY - CLEAN EXISTING SURFACES. PROVIDE (2) COATS FINISH PAINT.





EAST ELEVATION

1/4" = 1'-0"

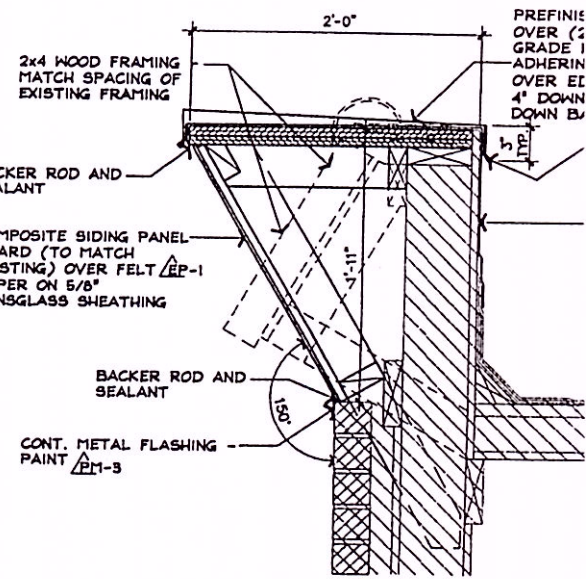


NOTE:
EIFS SYSTEM AT BASE OF
COLUMNS TO BE HIGH IMPACT
RESISTANT

COLUMN DETAIL

1 1/2" = 1'-0"

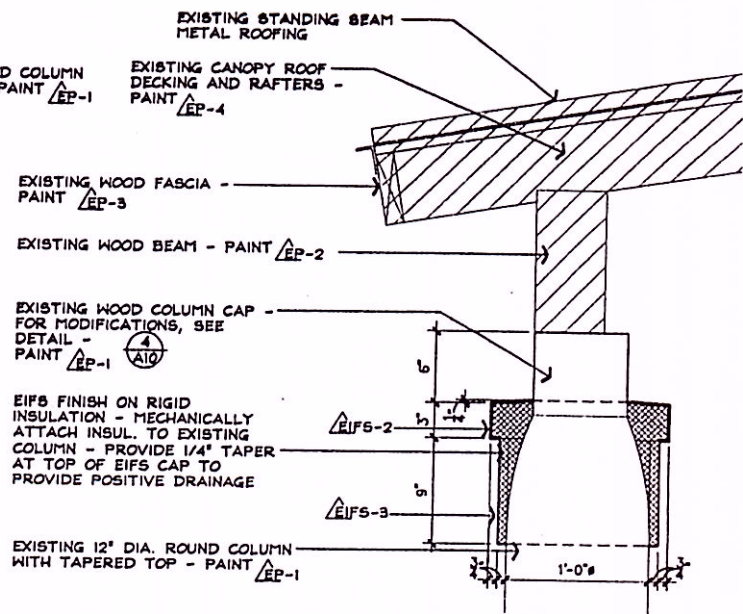
4
A10



REVISED CORNICE

1 1/2" = 1'-0"

3
A10



COLUMN CAP

1 1/2" = 1'-0"

2
A10