# PD PLAN DIVENTURES OF COLUMBIA



VICINITY MAP Scale: 1" = 200'

## STREAM BUFFER STATEMENT:

THIS TRACT IS REGULATED BY THE STREAM BUFFER REQUIREMENTS IN SECTION 12A, ARTICLE X OF THE CITY OF COLUMBIA CODE OF ORDINANCES AS DETERMINED BY THE USGS MAP FOR HUNTSDALE QUADRANGLE, BOONE COUNTY, MISSOURI. THERE IS NO REGULATED STREAM BUFFER LOCATED ON THIS TRACT.

## FLOOD ZONE:

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER: 29019C0267E, EFFECTIVE DATE: APRIL 19, 2017. THIS PROPERTY IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

## SITE ACCESS:

NO SITE ACCESS TO BE PERMITTED FROM VAWTER SCHOOL ROAD. PRIMARY ACCESS WILL BE FROM PROPOSED CAPITAL DRIVE.

## SITE MAINTENANCE:

ALL MAINTENANCE OF THE PRIVATE STREETS SHOWN ON THIS PLAT SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION OR ABUTTING PROPERTY OWNERS. NO PRIVATE STREETS SHALL BE DEDICATED TO NOR ACCEPTED BY THE CITY FOR MAINTENANCE UNTIL THEY HAVE BEEN IMPROVED TO MINIMUM CITY STANDARDS FOR PUBLIC STREETS.

## SITE SIGNAGE:

ON-SITE SIGNS SHALL BE IN ACCORDANCE WITH THE SEC. 29-4.8 (SIGN STANDARDS) OF THE UNIFIED DEVELOPMENT CODE AND COMPLY WITH THE "SHOPPING CENTER" PROVISIONS (TABLE 4.8-5). THIS SITE SHALL NOT BE ENTITLTED TO A FREE-STANDING SIGN ALONG ANY LOT WITH PUBLIC OR PRIVATE STREET FRONTAGE.

## SITE LIGHTING:

SITE LIGHTING SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF SEC. 29-4.5 (EXTERIOR LIGHTING) OF THE UNIFIED DEVELOPMENT CODE.

## **DESIGN EXCEPTIONS:**

- 1. SECTION 29-4.3(e)(2)(i) AND TABLE 4.3-1 TO EXCEED THE OFF-STREET MAXIMUM PARKING REQUIREMENT OF 200% OF THE MINIMUM AMOUNT REQUIRED. IN TOTAL, 67 PARKING STALLS SHALL BE PROVIDED, PENDING A DESIGN EXCEPTION, EXCEEDING THE MAXIMUM OF 42 STALLS ALLOWED PER TABLE 4.3-1 INDOOR RECREATION OR ENTERTAINMENT CLASSIFICATION.
- 2. SECTION 29-4.6(c)(1) TO PERMIT THE OPERATING ENTRY DOOR BE LOCATED BASED ON THE ADDRESSING OF THE BUILDING ALONG CAPITAL DR.

## **DIMENSIONS:**

DIMENSIONS ARE SHOWN TO BACK OF CURB.

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF COLUMBIA, MISSOURI, PURSUANT TO ORDINANCE

# \_\_\_\_, ON THIS 22 DAY OF February, 2024.

SHARON GEUEA JONES, CHAIRPERSON

APPROVED BY THE CITY COUNCIL OF THE CITY OF COLUMBIA, MISSOURI, PURSUANT TO ORDINANCE

#\_\_\_\_\_, ON THIS \_\_\_\_ DAY OF \_\_\_\_\_ 2024.

BARBARA BUFFALOE, MAYOR

ATTEST:

SHEELA AMIN, CITY CLERK

OWNER:

GRINDSTONE ACRES, LLC

2000 E. BROADWAY, STE 312

TED STEPHENSON

**ENGINEER:** 

OLSSON, INC. RYAN JEPPSON

DIVENTURES

OMAHA, NE 68144

TELE: (531) 999-8425

COLUMBIA, MO 65201

550 ST. LOUIS STREET

SPRINGFIELD, MO 65806

CONTACT: WILLIAM MUNROE

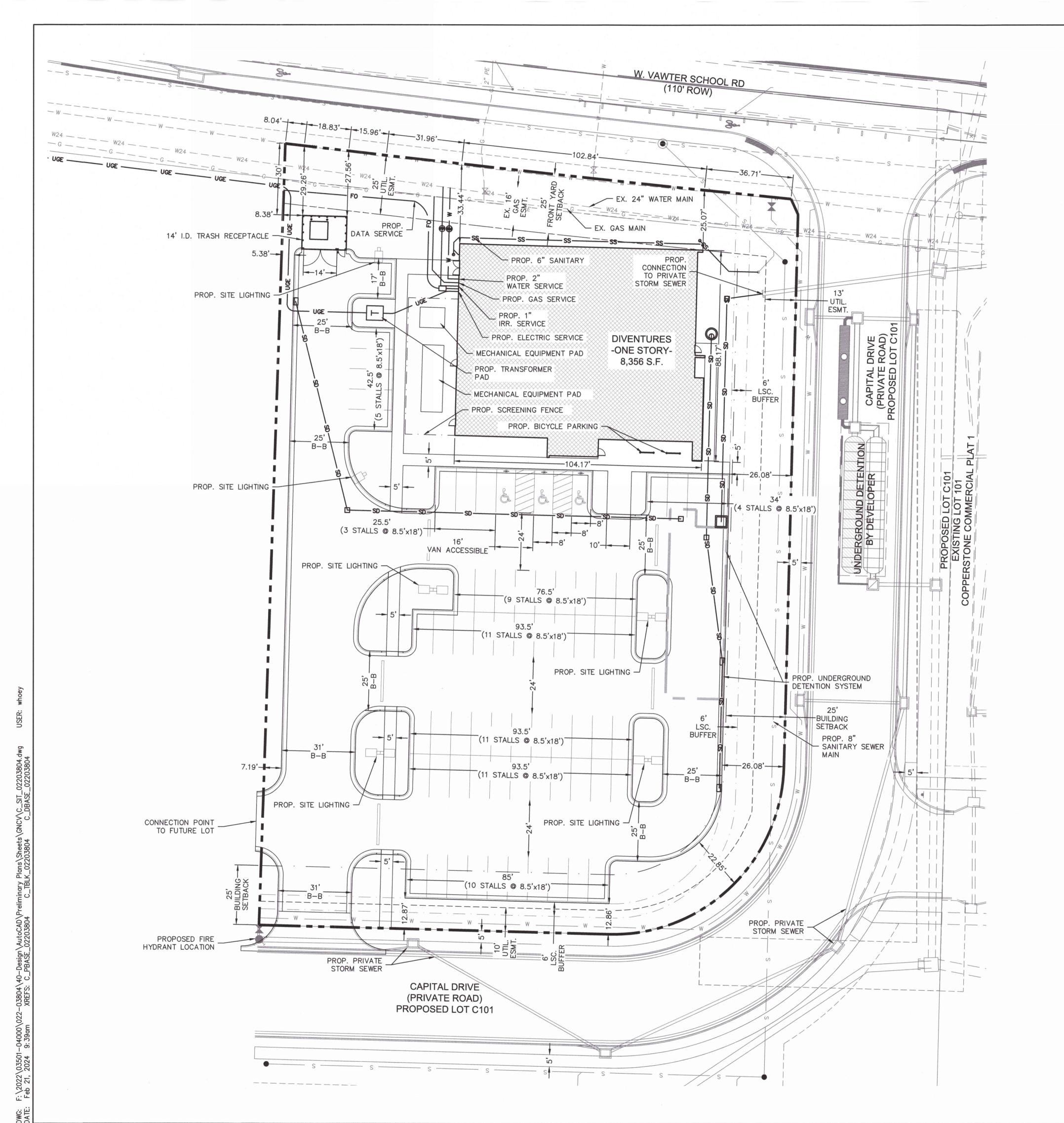
11640 ARBOR STREET, SUITE 100

CONTRACT PURCHASER / APPLICANT / DEVELOPER

TELE: (417) 890-8802

drawn by: checked by: WKH approved by: QA/QC by: 022-03804 project no.: drawing no.: CPRELIM\_02203804 02.20.2024

PD P DIVENTURES

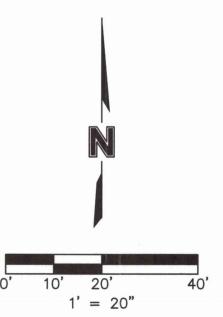


	ON / PARKING TABLE				
LEGAL DE	ESCRIPTION				
	STONE CORNER PLAT 1,  OF THE BOONE COUNTY RECORDS				
ADD	DRESS				
PROPOSED LOT 101 - COI	PPERSTONE CORNER PLAT 1				
SITE	DATA				
PROPOSED LOT AREA 1.57 ACRES 68,259± S.F.					
TOTAL BUILDING FLOOR AREA	8,356± S.F.				
TOTAL OPEN SPACE AREA	0.53 ACRES 23,061± S.F.				
TOTAL PAVED AREA	0.85 ACRES 36,842± S.F.				
TOTAL IMPERVIOUS AREA	1.04 ACRES 45,198± S.F.				
IMPERVIOUS SURFACE RATIO	0.662				
BUILDING HEIGHT	MAXIMUM 30'-0"				
ZO	NING				
PD (PLANNED DEVELO	PMENT PER ORD. 025347)				
PRESENT USE	VACANT				
PROPOSED USE	INDOOR RECREATION & ENTERTAINMENT				
REQUIRE	D PARKING				
PARKING RATIO	1 SPACE / 400 S.F. GROSS FLOOR AREA				
STANDARD STALLS	20 STALLS				
STANDARD ACCESSIBLE STALLS	1 STALLS				
TOTAL	21 STALLS				
MAXIMUM PARKING ALLOWED	42 STALLS				
BICYCLE PARKING	4 BIKE STALLS				
	D PARKING EXCEPTION APPROVAL)				
REGULAR 8.5'x18' STALLS	64 STALLS				
STANDARD 8x18' ACCESSIBLE STALLS	2 STALLS				
VAN ACCESSIBLE STALLS	1 STALLS				
TOTAL	67 STALLS				
BICYCLE PARKING	10 STALLS				
PARKING RATIO	3.19 SPACES / 400 S.F. GROSS FLOOR SPACE				

LEGEND
PROPERTY LINE
PROPOSED LANDSCAPE BUFFER
PROPOSED BUILDING SETBACK
PROPOSED EASEMENT

UTILITY LEGEND

	Commence of the local division in which the local division in the	
w	- w	INSTALL DOMESTIC WATER SERVICE LIN
IRR		INSTALL IRRIGATION SERVICE LINE
GAS -		INSTALL GAS SERVICE
ss _		INSTALL SANITARY SEWER SERVICE
FO		INSTALL FIBER OPTIC LINE
UGE	- UGE	INSTALL UNDERGROUND ELECTRIC LINE
SD		INSTALL STORM SEWER LINE
W24 $$ $$	W24	EXISTING 24" WATER MAIN
	— — G —	EXISTING GAS MAIN
	— — S ——	EXISTING SANITARY SEWER MAIN
		PROPOSED SANITARY SEWER MAIN
	- W	PROPOSED WATER MAIN
		PROPOSED PRIVATE STORM





C. Engineering MO State Cert. of Authority #001592

RYAN V. JEPPSON NUMBER PE-2012024241

RYAN V. JEPPSON CIVIL ENGINEER MO# PE-2012024241

SITE PLAN

PD PLAN

DIVENTURES OF COLUMBIA

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DIVENTURES OF COLUMBIA

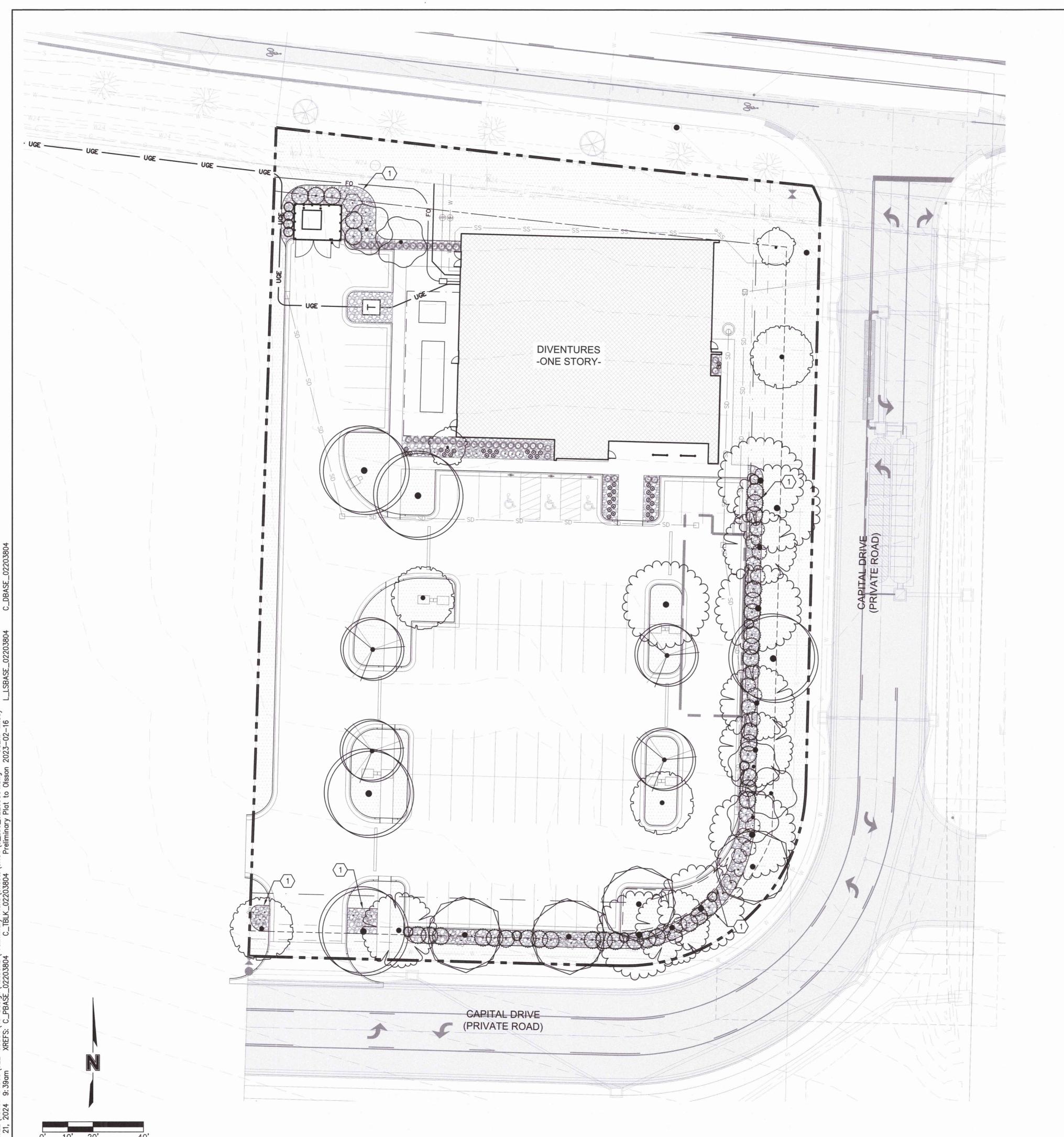
DIVENTURES OF COLUMBIA

DIVENTURE OF COLUMBIA

COLUMBIA, MISSOURI

drawn by: JRH
checked by: WKH
approved by: RVJ
QA/QC by: WKH
project no. 022-03804
drawing no.: CPRELIM 02203804
date: 02.20.2024

C103



SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	REMARKS
CONIFER						
and a second	JS	11	JUNIPERUS CHINENSIS 'SPEARMINT' SPEARMINT JUNIPER	6° HT.	B&B	
ARGE TR	EES			· · · · · · · · · · · · · · · · · · ·		
$\bigcirc$	QA	5	QUERCUS SHUMARDII SHUMARD OAK	2" CAL.	B&B	MO NATIVE
(·)	TG	4	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" CAL.	B&B	
MEDIUM TI	REES					
£	GM	7	ACER SACCHARUM 'GREEN MOUNTAIN' SUGAR MAPLE	2" CAL. 10' HT.	B&B	
	CF	4	CARPINUS BETULUS 'FASTIGIATA' UPRIGHT EUROPEAN HORNBEAM	2" CAL. 10' HT.	B&B	
	GI	5	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' IMPERIAL®HONEY LOCUST	2" CAL. 10' HT.	B&B	
SMALL TRI	EES					
$\bigcirc$	AA	5	AMELANCHIER ARBOREA SERVICEBERRY	4' HT.	B&B	MO NATIV
$\bigcirc$	СС	4	CERCIS CANADENSIS EASTERN REDBUD	4' HT.	В&В	MO NATIVI
	со	2	COTINUS OBOVATUS AMERICAN SMOKE TREE	4' HT.	B&B	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	REMARKS
DECIDUOL	IS SHRU	BS				
	НА	3	HYDRANGEA QUERCIFOLIA 'ALICE' ALICE OAKLEAF HYDRANGEA	5 GAL.	CONTAINER	
	IC	6	ILEX GLABRA 'CHAMZIN' NORDIC™INKBERRY HOLLY	5 GAL.	CONTAINER	
	SS	9	SPIRAEA JAPONICA 'ANTHONY WATERER' ANTHONY WATERER JAPANESE SPIREA	5 GAL.	CONTAINER	
	SP	8	SYRINGA PATULA 'MISS KIM' MISS KIM KOREAN LILAC	5 GAL.	CONTAINER	
Every Services	VC	10	VIBURNUM CARLESII KOREANSPICE VIBURNUM	5 GAL.	CONTAINER	
0	VJ	1	VIBURNUM X JUDDII JUDD VIBURNUM	5 GAL.	CONTAINER	
£3	WA	12	WEIGELA FLORIDA 'ALEXANDRA' WINE & ROSES® WEIGELA	5 GAL.	CONTAINER	
EVERGREI	EN SHRU	JBS				
Month of the state	BG	42	BUXUS X 'GREEN VELVET' GREEN VELVET BOXWOOD	5 GAL.	CONTAINER	
0	JF	38	JUNIPERUS PFITZERIANA 'SEA GREEN' SEA GREEN JUNIPER	5 GAL.	CONTAINER	
PERENNIA	LS					
+	AB	40	HEMEROCALLIS X 'APRICOT BEAUTY' APRICOT BEAUTY DAYLILY	3 GAL.	CONTAINER	

Caliper measured 6" above the ground

# HATCH LEGEND

ROCK MULCH

SOD

# **KEYNOTES**

METAL EDGING
(SEE DETAIL SHEET L200)

Know what's below.
Call before you dig.

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIE

Olsson

Olsson, INC. Engineering MO State Cert Olsson, INC. Landscape Architecture M 550 St. Louis St.

AN -AN -AN -BECR. -BECR.

drawn by: JF
checked by: Wh
approved by: R!
QA/QC by: Wh
project no.: 022-038/
drawing no.: CPRELIM 022038/
date: 02.20.20/

L100

1"=20'

LANDSCAPE CALCULATIONS:

Site - Copperstone Corner PD Plan\* - Lot 101 (Proposed)

North - PD - Zoned PD-FP-O, Use is COMMERCIAL (GAS STATION)

East - Copperstone Corner PD Plan South - Copperstone Corner PD Plan West - Copperstone Corner PD Plan

\*Construction for the improvements to Vawter School Road, site grading, perimeter landscape buffer shown on lots within phase 1, public utility extensions, private storm sewer, and construction of Capital Drive along the perimeter of Lot 101 and Frontgate land shall be viewed as Phase 1.

#### Minimum Landscape Area

Lots 101-105 shall have a minimum of 15% landscaping and 0% existing vegetation.

Lot Area: 68,259 SF (1.57 AC) Required: 10,239 SF (15%) Provided: 23,061 SF (33.8%)

### Street Frontage Landscape

All paved areas with more than 40 feet of length within 25 feet of a street right-of-way shall be improved with a landscaping buffer strip street frontage landscaping subject to final site plan submissions. The required landscape buffer shall be designed so that at least 80% opacity is achieved, viewed horizontally, in the space between 1 foot and 5 feet above grade at the screen line. The landscape buffer shall include the following plant mix: 4 of the categories of planting material contained in section 29-4.4(c)(6) and the guidelines for landscaping and screening. 1 tree with a 2 inch caliper that is 10 feet in height at the time of installation for each 200 SF of buffer area. Shrubs and flowering plants that cover a minimum of 50% of the remaining area with a minimum of 25% of that plant material being in flowering shrubs.

#### W. Vawter School Road:

Required: None. No paved area within 25' of R/W.

#### Provided: Not Applicable

Capital Drive — East (Private Road) 174 LF landscape buffer:

Required: 6' buffer width, 1,042 SF buffer. Mix of Ornamental Trees, Conifers, Shrubs and sod achieving 80% opacity. 6 trees (2" caliper and 10' height). 50% shrubs and flowering plants that cover a minimum 521 SF Provided: 6' buffer width, 1,042 SF buffer. 2 ornamental trees, 4 conifers, 15 evergreen shrubs, 18 flowing shrubs achieving 80% opacity. 6 trees (2" caliper and 10'

### Capital Drive — South (Private Road) 130 LF landscape buffer:

and flowering plants that cover a minimum 391 SF. 25% of that plant material being flowering shrubs. Provided: 6' buffer width, 782 SF buffer. 2 ornamental trees, 3 conifers, 18 evergreen shrubs, 15 flowing shrubs achieving 80% opacity. 4 trees (2" caliper and 10' height). 42% of plant material are flowing shrubs.

#### Street Trees

Street tree landscaping shall be installed on both sides of any right-of-way greater than 50' in width that is newly platted, or is improved with new roadway construction, or is redeveloped. 1 street tree shall be required for every 60' of street frontage. A mixture of street trees (Large, medium, small) shall be proposed from the list of approved street trees as identified within the "Standards and Guidelines for Landscaping and Tree Preservation." No more than 30% of the required trees may be from one tree species. Required street trees shall generally be planted at intervals of at least 60' on center; however, trees may be clustered and placed at uneven intervals upon approval of the city arborist when it is determined that such placement will address unique site conditions impacting public health, safety and welfare.

W. Vawter School Road — Per Copperstone Corner PD Plan, Vawter School Rd. perimeter landscape buffer shall be viewed as Phase 1 of the planned development.

Street trees shall comply with Section 29-4.4(d)(2)(i-vii) of the City Code.

Provided: Developer is providing large deciduous shade trees at 40' o.c. as Vawter School Rd. street tree landscaping requirement.

#### Capital Drive - East (Private) (321 LF):

Provided = 3 (50%) large to medium trees, 3 (50%) small trees

Exact placement of trees to be determined by City of Columbia at the time of development.

#### Capital Drive — South (Private) (177 LF): Required: 3 trees

Provided = 2 (68%) large to medium trees, 1 (32%) small trees Exact placement of trees to be determined by City of Columbia at the time of development.

## Property Edge Buffer

Lot 101 does not require property edge buffering. In accordance with table 4.4—4 of the UDC, no buffer required at commercial to commercial transition

Parking Area Landscape

1 tree within a minimum 170 SF growspace per 4,000 SF of paved area. No less than 30% shall be of a species of medium shade trees. No less than 40% shall be of a species of large shade trees. No single tree species shall make up more than 40% of the trees required to be planted in the interior of the parking area.

## Pavement area = 36,842 SF

Required: 10 trees, 1,700 SF growspace

Screening of Outdoor Storage Areas All exterior storage areas shall be enclosed by a permanent screen at least 8' in height. When a solid wall or any solid fence is used for screening, ornamental

## landscaping shall be placed between the fence and the adjacent property lines.

Required: 8' wall, ornamental landscaping Provided: 8' wall, 4 coniferous trees, 5 evergreen shrubs, 7 deciduous shrubs

## Preservation of Existing Landscape

Removal and replacement of significant trees shall comply with section 29-4.4(g)(1-3) of the City Code. There are no significant deciduous trees on this site.

## Not Applicable, No existing trees on site.

## Snow Storage Areas

Areas required for snow storage and areas required for landscaping shall not overlap, except that snow may be stored on ground cover landscape areas (e.g., turf) that do not contain required landscape trees or other plantings.

Provided: Refer to plan for location.

LANDSCAPE BUFFER

Substantial completion date for site work may vary from that of the building substantial completion date. Coordinate with Architect for completion dates. This site will have a permanent irrigation system. Until the permanent irrigation system is fully functional, the Contractor shall use whatever means necessary (including a temporary irrigation system) to achieve the following water application until establishment per the specification. Similarly, the same water application shall be utilized once the permanent irrigation system is fully functional.

Water sod regularly to maintain an adequate supply of moisture penetration through sod into top 6 inches of topsoil. Adequate moisture supply during Fall and Spring planting dates is the equivalent of one inch of absorbed water per week either through natural rainfall or augmented by periodic waterings. Apply water at a moderate rate so as not to displace the mulch or flood the turf areas. Adequate moisture should be divided into two to three waterings per week, as directed by the Owner's Representative. During the summer (June 2 through August 31) watering may be required on a daily basis, as directed by the Owner's Representative. During the winter months confer with the Owner's Representative regarding the frequency of watering.

Sodded areas are properly established such that within any 10' x 10' area of turf there is less than 5% weed coverage; sod is free of bare and dead spots and is without weeds; and no surface soil is visible when grass has been cut to height of 2-1/2 inches.

GENERAL CONTRACTOR IS RESPONSIBLE FOR CARE OF THE INSTALLED SOD FOR A MINIMUM OF 60 DAYS.

Refer to specifications for additional information.



DONEY EARNHART NUMBER LA-00013 -00 JANE K. DONEY EARNHART LANDSCAPE ARCHITECT

REVISIONS DESCRIPTION								DESCR.	DEVISIONS
DATE								DATE	
REV.								NO.	
								, 000	12024
	DATE	NO. DATE							

PLAN OF C

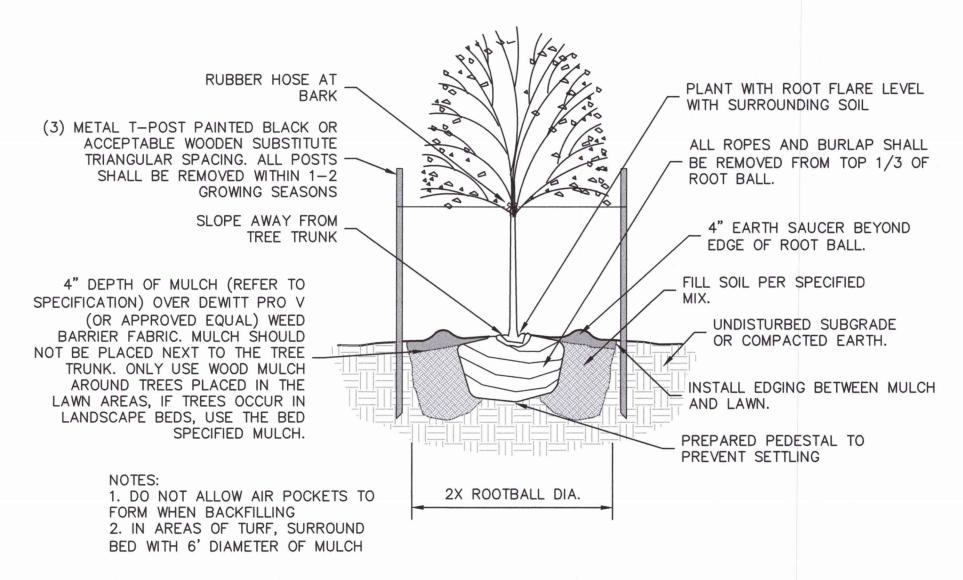
PD P DIVENTURES

checked by: approved by: QA/QC by: project no.:

drawing no.: CPRELIM\_02203804 02.20.2024

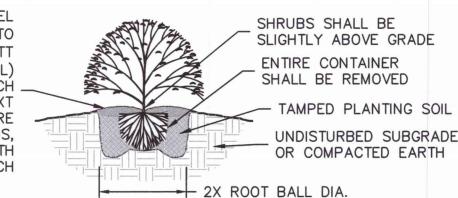
### PLANTING AND IRRIGATION NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL AND MEP DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
- 2. STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 3. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- 4. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- 5. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.
- 6. ANY MATERIAL WHICH DIES, OR DEFOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQUIREMENTS.
- 8. BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS UNLESS NOTED OTHERWISE:
  - 2 PARTS BY VOLUME TOPSOIL 1 PART BY VOLUME BROWN RIVER SAND
  - 1 PART BY VOLUME PEAT MOSS
- 1 LB. COMMERCIAL FERTILIZER PER CY OF MIX.
- 9. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
- 10. ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF 6" OF IMPORTED OR STOCKPILED FINELY GRADED TOPSOIL. ALL PLANTING BEDS AND TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.
- 11. ALL LANDSCAPE PLANTING AREAS, EXCLUDING TURF AREAS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT MATERIAL, UNLESS NOTED OTHERWISE.
- 12. REFER TO LANDSCAPE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 13. INSTALL V-TRENCH BED EDGING TO SEPARATE ALL MULCHED PLANTING AREAS FROM TURF AREAS. REFER TO DETAIL ON SHEET L200.
- 14. INSTALL WOVEN BLACK LANDSCAPE WEED BARRIER FABRIC (DEWITT 20 YEAR, 4.1 OZ. WOVEN WEED BARRIER FABRIC OR EQUAL) IN ALL PLANTING BEDS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 15. THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPE PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 16. LANDSCAPE CONTRACTOR SHALL PROVIDE UNIT COSTS AND POSSIBLE ALTERNATES FOR PLANT MATERIAL TO THE LANDSCAPE ARCHITECT.
- 17. KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
- 18. THE ENTIRE SURFACE TO BE PLANTED, SODDED OR SEEDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- 19. ALL AREAS DESIGNATED TO RECEIVE SOD SHALL BE SODDED WITH TURF-TYPE TALL FESCUE. ALL OTHER DISTURBED LAWN AREAS SHALL BE HYDROSEEDED WITH A MATCHING NO-WEED SEED MIX.
- 20. SOD SHALL BE CAREFULLY PLACED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
- 21. ALL SOD SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLACEMENT.
- 22. ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF SODDED OR SHRUBBED AREAS. SHALL BE HYDROSEEDED WITH AN IMPROVED TURF-TYPE TALL FESCUE AT A RATE OF 10 LBS/1,000 SF.
- 23. HYDROSEED MIX SHALL INCLUDE:
  - CONWED OR SILVA FIBER 1.500 LBS/AC. FERTILOME 9-13-7 FERTILIZER - 500 LBS/AC
  - CONWEB TACKIFIER 40 LBS/AC (7 LBS/100 GAL)
- 24. ALL AREAS DESIGNATED TO BE HYDROSEEDED SHALL BE SCARIFIED PRIOR TO SEEDING TO ENSURE A FIRM BUT FRIABLE SEED BED.
- 25. PRIOR TO HYDROSEED GERMINATION, A PREMERGENT HERBICIDE SHALL BE APPLIED. THE CONTRACTOR IS RESPONSIBLE FOR COMPATIBILITY OF HERBICIDE WITH HYDROSEEDED PLANT MATERIAL.
- 26. PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT SEEDING SEASON.
- 27. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO; WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AND TURF AREAS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT AND OWNER.
- 28. LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND ACCEPTANCE OF THE PROJECT.
- 29. CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- 30. ALL LANDSCAPE AREAS SHALL BE PERMANENTLY IRRIGATED WITH A BELOW GRADE AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SHALL BE DESIGN-BUILD TO MEET ALL CITY REQUIREMENTS. SUBMIT SHOP DRAWINGS OF LAYOUT AND CUT SHEETS OF PRODUCTS AND INSTALLATION DETAILS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION, TREES, SHRUBS AND TURF AREA SHALL BE SPRAY HEADS.
- 31. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER SUBCONTRACTORS FOR THE LOCATION OF PIPE SLEEVES AND IRRIGATION EQUIPMENT.
- 32. ALL SPRINKLER HEADS SHALL BE OF THE POP-UP MATCHED PRECIPITATION AND PRESSURE COMPENSATING VARIETY. INSTALLED HEADS WITH SWING JOINTS.
- 33. ALL SPRINKLER HEADS SHALL BE ADJUSTED FOR MINIMUM COVERAGE ON WALKWAYS, BUILDINGS, PAVING AND OTHER HARDSCAPE FEATURES.
- 34. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER UNDERGROUND OBSTRUCTIONS PRIOR TO PROCEEDING WITH ANY DIGGING OPERATIONS SO THAT PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH OBSTRUCTIONS. REFER TO CIVIL AND MEP DRAWINGS FOR PROPOSED UTILITY LOCATIONS AND EXTERIOR LIGHTING LOCATIONS.
- 35. INSTALL EQUIPMENT PER PLUMBING CODE AND CITY AND/OR COUNTY REQUIREMENTS.
- 36. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING CONDITIONS.
- 37. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR SIZE AND QUANTITIES OF WIRING AND PIPING FOR PROPER FUNCTION OF
- 38. WHEN IRRIGATION SYSTEM IS COMPLETED, PROVIDE TO OWNER AS-BUILT DRAWINGS, COPY OF ALL MANUALS, COPY OF PROGRAM SETTING AND THE IRRIGATION SCHEDULE.
- 39. THE LANDSCAPE AND IRRIGATION CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- 40. THE NEW IRRIGATION COMPONENTS SHALL BE RAINBIRD 2-WIRE DECODER SYSTEM.
- 41. REFER TO IRRIGATION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 42. THE NEW IRRIGATION SYSTEM SHALL INCLUDE QUICK COUPLER VALVES (ONE PER NEW IRRIGATION SECTION) CONNECTED TO CONTINUOUS PRESSURE LINES AND SHALL BE INSTALLED IN VALVE BOXES.



#### DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE

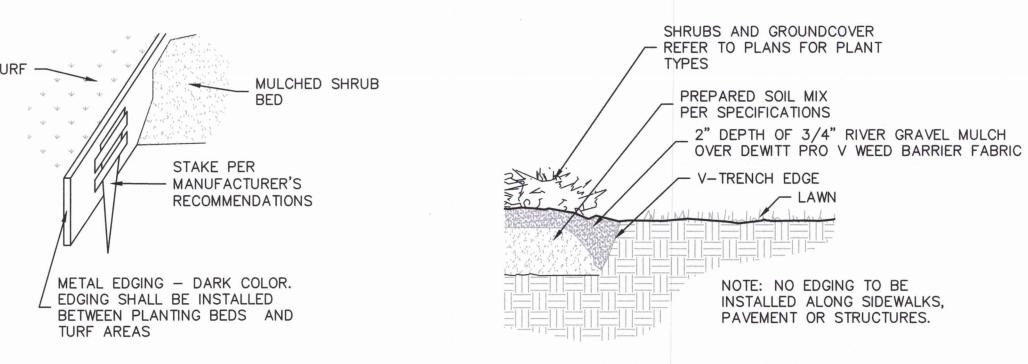
3" DEPTH OF RIVER GRAVEL MULCH (REFER TO SPECIFICATION) OVER DEWITT PRO V (OR APPROVED EQUAL) WEED BARRIER FABRIC. MULCH SHOULD NOT BE PLACED NEXT TO THE SHRUB TRUNK. WHERE SHRUBS OCCUR IN BEDS, COVER ENTIRE BED AREA WITH GRAVEL MULCH



# SHRUB PLANTING DETAIL

NOT TO SCALE

- 1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH AAN STANDARDS
- 2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION 3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
- 4. SOAK GENEROUSLY TO COMPACT AND SETTLE

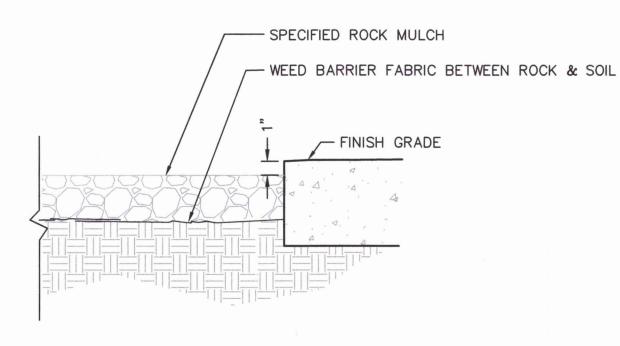


METAL EDGING DETAIL NOT TO SCALE

"V" TRENCH EDGING DETAIL \*TO BE USED AROUND TREES PLACED IN LAWN AREA\* NOT TO SCALE

> SPECIFIED. X = 24"

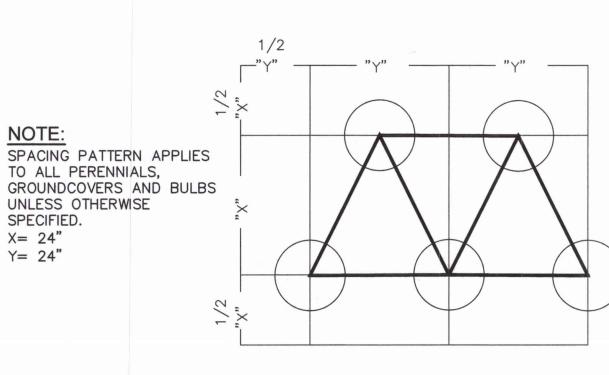
Y = 24"



ADJACENT TO PAVEMENT

**ROCK MULCH DETAIL** 

N.T.S.



GROUNDCOVER LAYOUT DETAIL NOT TO SCALE

drawing no.: CPRELIM\_02203804 02.20.2024

ANE RULE EARNHART NUMBER LA-00013 20-20-202 JANE K. DONEY EARNHART LANDSCAPE ARCHITECT MO# LA-00013

PD F RES

checked by: WKH approved by: QA/QC by: WKH 022-03804 project no.: