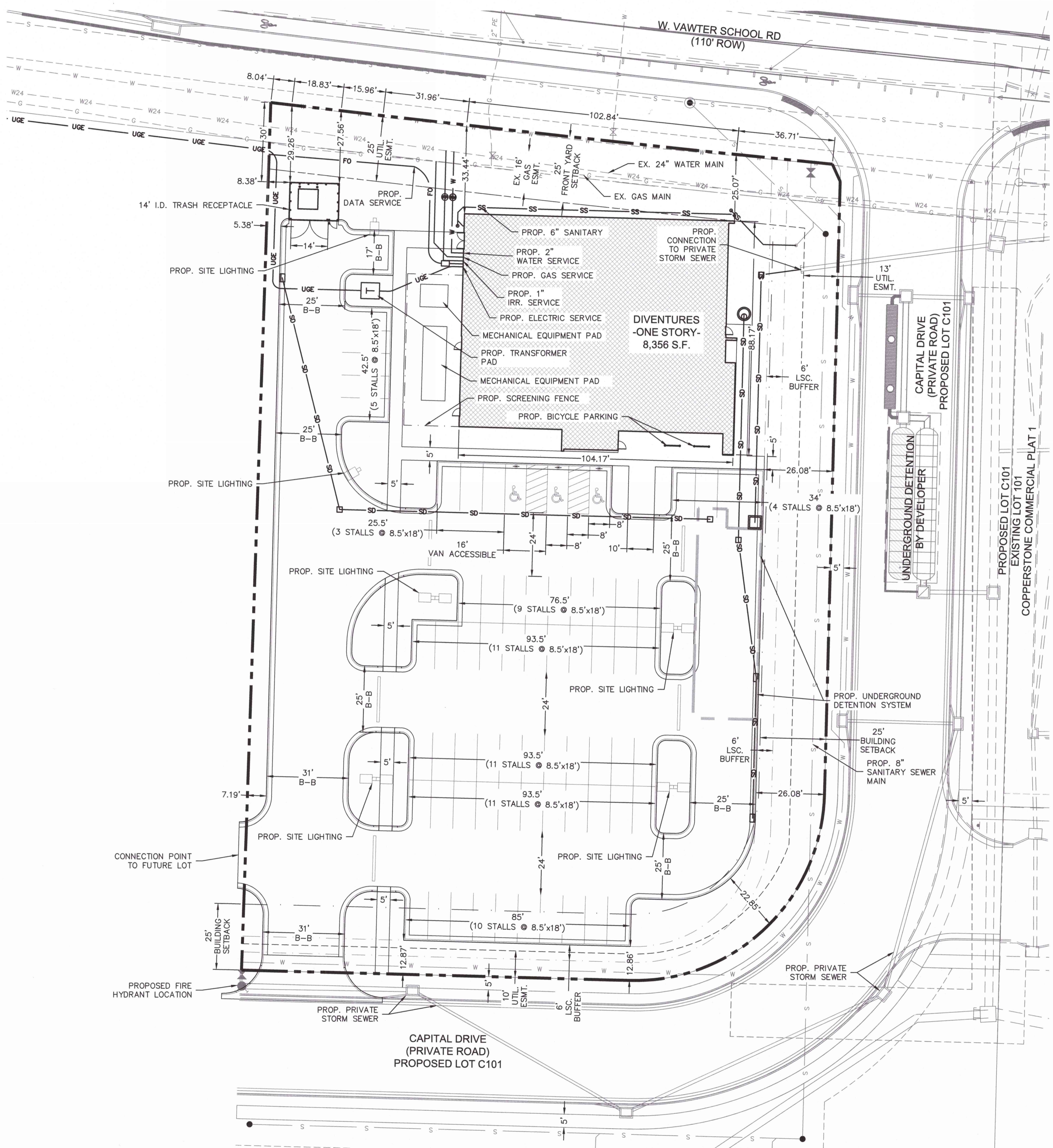
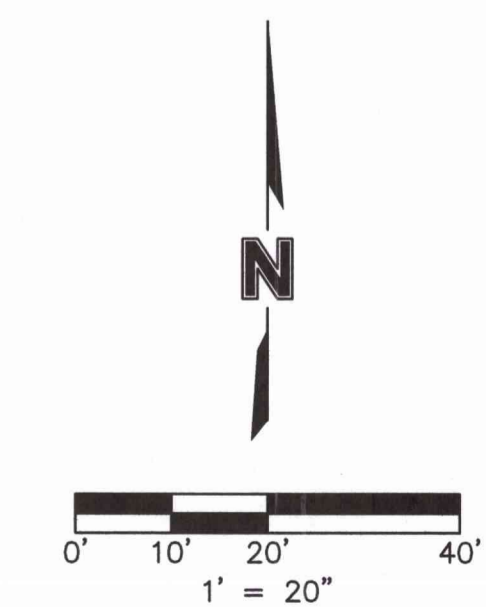


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SITE INFORMATION / PARKING TABLE	
LEGAL DESCRIPTION	
LOT 101 OF COPPERSTONE CORNER PLAT 1, RECORDED AT PLAT BOOK _____, PAGE _____ OF THE BOONE COUNTY RECORDS	
ADDRESS	
PROPOSED LOT 101 - COPPERSTONE CORNER PLAT 1	
SITE DATA	
PROPOSED LOT AREA	1.57 ACRES 68,259± S.F.
TOTAL BUILDING FLOOR AREA	8,356± S.F.
TOTAL OPEN SPACE AREA	0.53 ACRES 23,061± S.F.
TOTAL PAVED AREA	0.85 ACRES 36,842± S.F.
TOTAL IMPERVIOUS AREA	1.04 ACRES 45,198± S.F.
IMPERVIOUS SURFACE RATIO	0.662
BUILDING HEIGHT	MAXIMUM 30'-0"
ZONING	
PD (PLANNED DEVELOPMENT PER ORD. 025347)	
PRESENT USE	VACANT
PROPOSED USE	INDOOR RECREATION & ENTERTAINMENT
REQUIRED PARKING	
PARKING RATIO	1 SPACE / 400 S.F. GROSS FLOOR AREA
STANDARD STALLS	20 STALLS
STANDARD ACCESSIBLE STALLS	1 STALLS
TOTAL	21 STALLS
MAXIMUM PARKING ALLOWED	42 STALLS
BICYCLE PARKING	4 BIKE STALLS
PROVIDED PARKING (SUBJECT TO DESIGN EXCEPTION APPROVAL)	
REGULAR 8.5'x18' STALLS	64 STALLS
STANDARD 8x18' ACCESSIBLE STALLS	2 STALLS
VAN ACCESSIBLE STALLS	1 STALLS
TOTAL	67 STALLS
BICYCLE PARKING	10 STALLS
PARKING RATIO	3.19 SPACES / 400 S.F. GROSS FLOOR SPACE

- LEGEND**
- PROPERTY LINE
 - PROPOSED LANDSCAPE BUFFER
 - PROPOSED BUILDING SETBACK
 - PROPOSED EASEMENT
- UTILITY LEGEND**
- W W INSTALL DOMESTIC WATER SERVICE LINE
 - IRR IRR INSTALL IRRIGATION SERVICE LINE
 - GAS GAS INSTALL GAS SERVICE
 - SS SS INSTALL SANITARY SEWER SERVICE
 - FO FO INSTALL FIBER OPTIC LINE
 - UGE UGE INSTALL UNDERGROUND ELECTRIC LINE
 - SD SD INSTALL STORM SEWER LINE
 - W24 W24 EXISTING 24" WATER MAIN
 - G G EXISTING GAS MAIN
 - S S EXISTING SANITARY SEWER MAIN
 - W W PROPOSED SANITARY SEWER MAIN
 - W W PROPOSED WATER MAIN
 - W W PROPOSED PRIVATE STORM



Olsson, INC. Engineering MO State Cert. of Authority #00116592
 Olsson, INC. Landscape Architecture MO State Cert. of Authority #200600285
 550 St. Louis St.
 Springfield, MO 65806
 TEL 417.890.8802 www.olsson.com

RYAN V. JEPPOSON
 NUMBER
 PE-2012024241
 PROFESSIONAL ENGINEER
 MO# PE-2012024241

REVISIONS DESCRIPTION

REV. NO.	DATE	DESCR.

REVISIONS

SITE PLAN

PD PLAN
 DIVENTURES OF COLUMBIA

2024

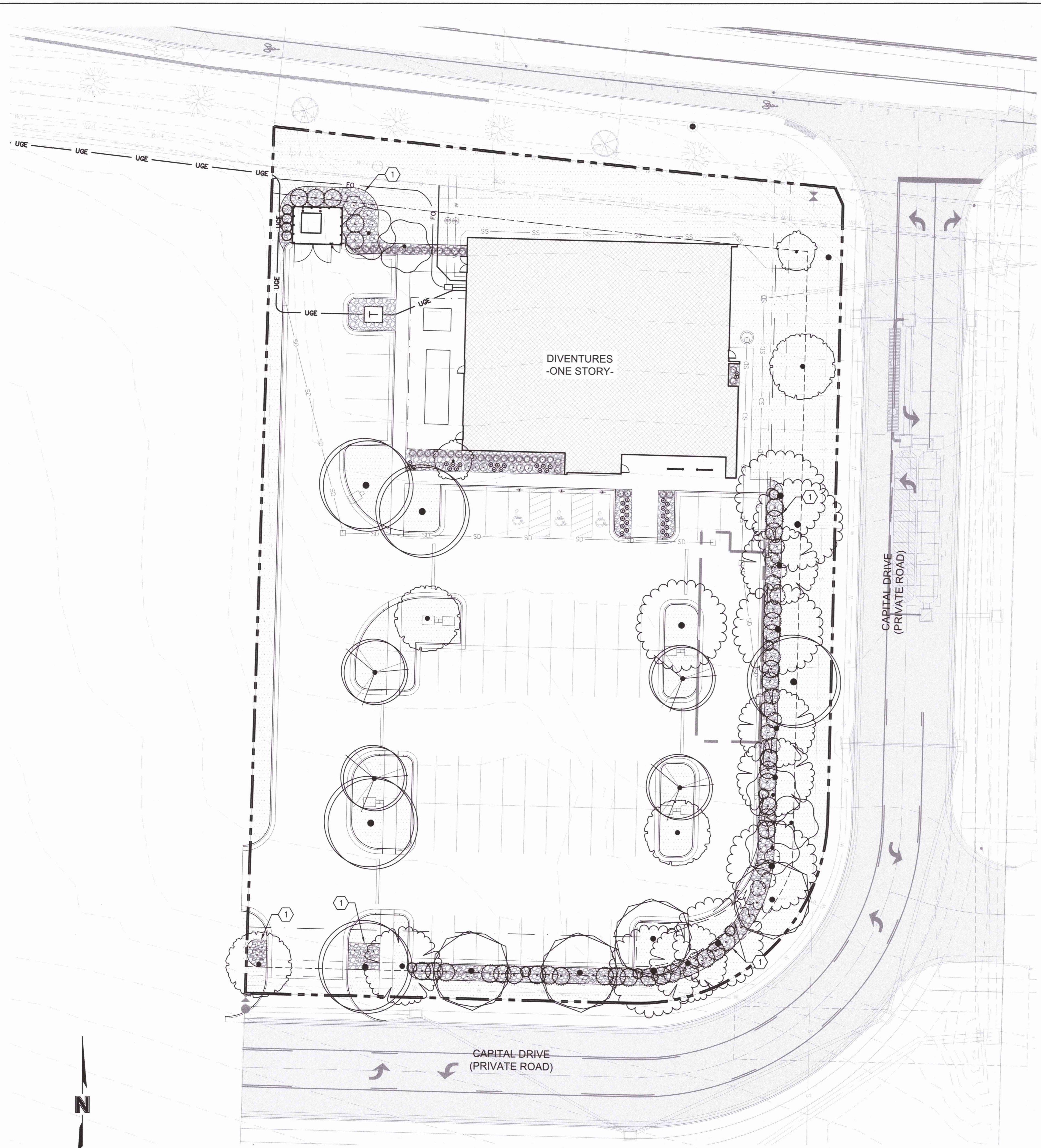
COLUMBIA, MISSOURI

drawn by: JRH
 checked by: WKH
 approved by: RVJ
 QA/QC by: WKH
 project no.: 022-03804
 drawing no.: CPRELM_02203804
 date: 02.29.2024

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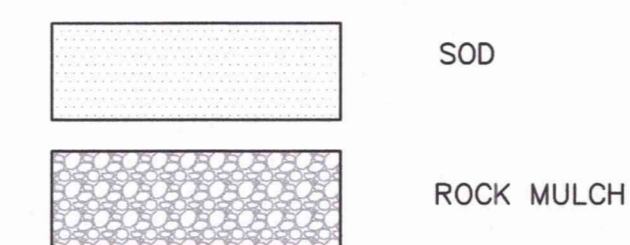
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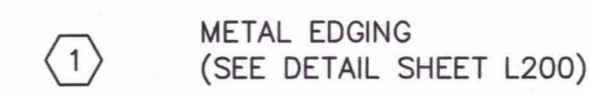
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	REMARKS
CONIFER						
	JS	11	JUNIPERUS CHINENSIS 'SPEARMINT' SPEARMINT JUNIPER	6' HT.	B&B	
LARGE TREES						
	QA	5	QUERCUS SHUMARDII SHUMARD OAK	2" CAL.	B&B	MO NATIVE
	TG	4	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" CAL.	B&B	
MEDIUM TREES						
	GM	7	ACER SACCHARUM 'GREEN MOUNTAIN' SUGAR MAPLE	2" CAL. 10' HT.	B&B	
	CF	4	CARPINUS BETULUS 'FASTIGIATA' UPRIGHT EUROPEAN HORNBEAM	2" CAL. 10' HT.	B&B	
	GI	5	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' IMPERIAL HONEY LOCUST	2" CAL. 10' HT.	B&B	
SMALL TREES						
	AA	5	AMELANCHIER ARBOREA SERVICEBERRY	4' HT.	B&B	MO NATIVE
	CC	4	CERCIS CANADENSIS EASTERN REDBUD	4' HT.	B&B	MO NATIVE
	CO	2	COTINUS OBOVATUS AMERICAN SMOKE TREE	4' HT.	B&B	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	REMARKS
DECIDUOUS SHRUBS						
	HA	3	HYDRANGEA QUERCIFOLIA 'ALICE' ALICE OAKLEAF HYDRANGEA	5 GAL.	CONTAINER	
	IC	6	ILEX GLABRA 'CHAMZIN' NORDIC INKBERRY HOLLY	5 GAL.	CONTAINER	
	SS	9	SPIRAEA JAPONICA 'ANTHONY WATERER' ANTHONY WATERER JAPANESE SPIREA	5 GAL.	CONTAINER	
	SP	8	SYRINGA PATULA 'MISS KIM' MISS KIM KOREAN LILAC	5 GAL.	CONTAINER	
	VC	10	VIBURNUM CARLESII KOREANSPICE VIBURNUM	5 GAL.	CONTAINER	
	VJ	1	VIBURNUM X JUDDII JUDD VIBURNUM	5 GAL.	CONTAINER	
	WA	12	WEIGELA FLORIDA 'ALEXANDRA' WINE & ROSES WEIGELA	5 GAL.	CONTAINER	
EVERGREEN SHRUBS						
	BG	42	BUXUS X 'GREEN VELVET' GREEN VELVET BOXWOOD	5 GAL.	CONTAINER	
	JF	38	JUNIPERUS PFITZERIANA 'SEA GREEN' SEA GREEN JUNIPER	5 GAL.	CONTAINER	
PERENNIALS						
	AB	40	HEMEROCALLIS X 'APRICOT BEAUTY' APRICOT BEAUTY DAYLILY	3 GAL.	CONTAINER	

Caliper measured 6" above the ground

HATCH LEGEND



KEYNOTES



Olsson, INC. Engineering MO State Cert. of Authority #001582
 Landscape Architecture MO State Cert. of Authority #200500285
 550 St. Louis St.
 Springfield, MO 65806
 TEL 417.890.8802 www.olsson.com

JANE K. DONEY EARNHART
 LANDSCAPE ARCHITECT
 MO# LA-00013

REV. NO.	DATE	REVISIONS DESCRIPTION	NO.	DATE	REVISIONS

LANDSCAPE PLAN

PD PLAN

DIVENTURES OF COLUMBIA

COLUMBIA, MISSOURI

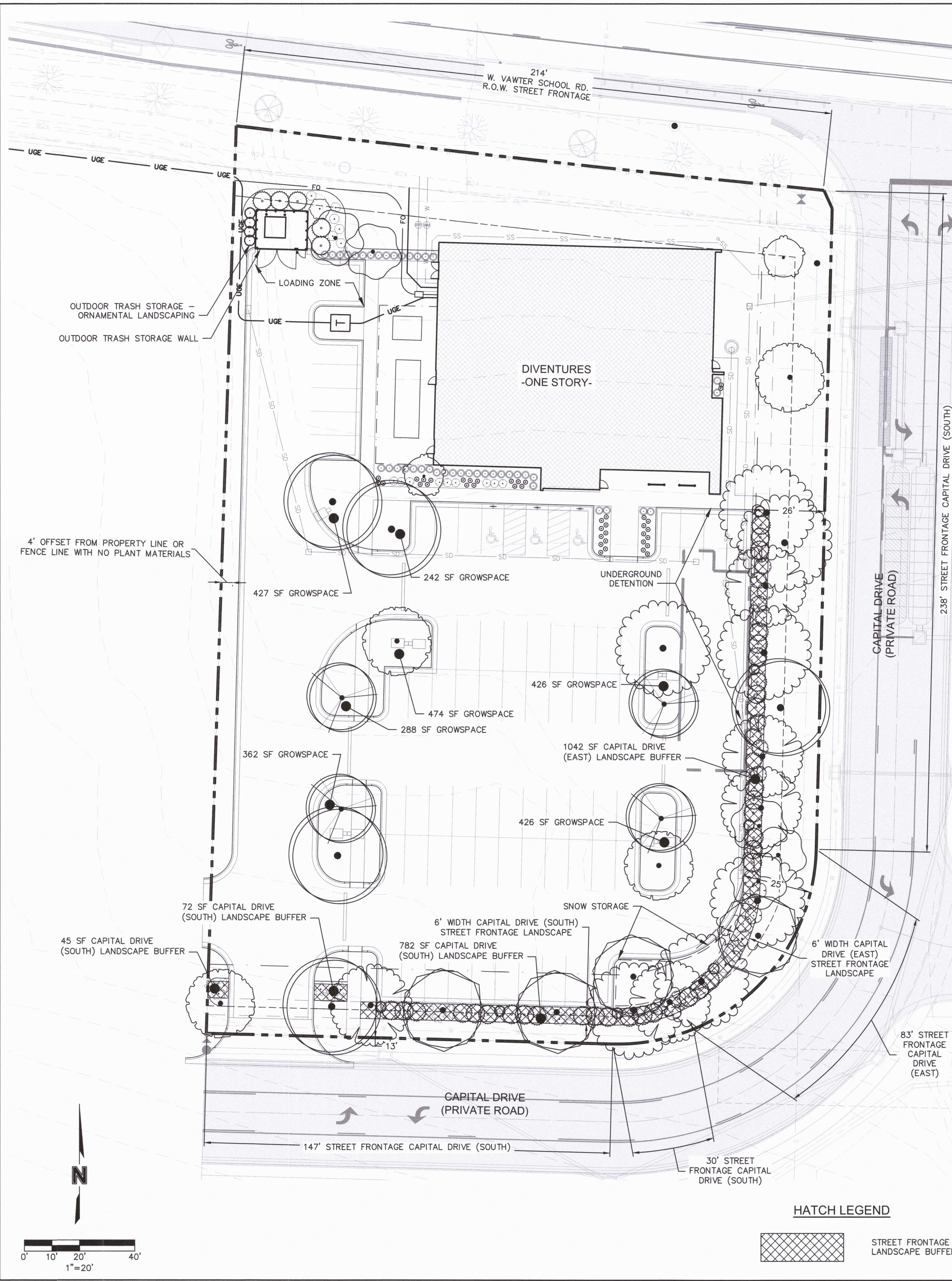
2024

drawn by: JRH
 checked by: WKH
 approved by: RVJ
 QA/QC by: WKH
 project no.: 022-03804
 drawing no.: CPRELIM_02203804
 date: 02.20.2024



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LANDSCAPE CALCULATIONS:

Site - Copperstone Corner PD Plan* - Lot 101 (Proposed)

North - PD - Zoned PD-FP-0, Use is COMMERCIAL (GAS STATION)
 East - Copperstone Corner PD Plan
 South - Copperstone Corner PD Plan
 West - Copperstone Corner PD Plan

*Construction for the improvements to Vawter School Road, site grading, perimeter landscape buffer shown on lots within phase 1, public utility extensions, private storm sewer, and construction of Capital Drive along the perimeter of Lot 101 and Frontgate land shall be viewed as Phase 1.

Minimum Landscape Area
 Lots 101-105 shall have a minimum of 15% landscaping and 0% existing vegetation.

Lot Area: 68,259 SF (1.57 AC)
 Required: 10,239 SF (15%)
 Provided: 23,061 SF (33.8%)

Street Frontage Landscape
 All paved areas with more than 40 feet of length within 25 feet of a street right-of-way shall be improved with a landscaping buffer strip street frontage landscaping subject to final site plan submissions. The required landscape buffer shall be designed so that at least 80% opacity is achieved, viewed horizontally, in the space between 1 foot and 5 feet above grade at the screen line. The landscape buffer shall include the following plant mix: 4 of the categories of planting material contained in section 29-4.4(c)(6) and the guidelines for landscaping and screening. 1 tree with a 2 inch caliper that is 10 feet in height at the time of installation for each 200 SF of buffer area. Shrubs and flowering plants that cover a minimum of 50% of the remaining area with a minimum of 25% of that plant material being in flowering shrubs.

W. Vawter School Road:
 Required: None. No paved area within 25' of R/W.
 Provided: Not Applicable

Capital Drive - East (Private Road) 174 LF landscape buffer:
 Required: 6' buffer width, 1,042 SF buffer. Mix of Ornamental Trees, Conifers, Shrubs and sod achieving 80% opacity. 6 trees (2" caliper and 10' height). 50% shrubs and flowering plants that cover a minimum 521 SF
 Provided: 6' buffer width, 1,042 SF buffer. 2 ornamental trees, 4 conifers, 15 evergreen shrubs, 18 flowing shrubs achieving 80% opacity. 6 trees (2" caliper and 10' height). 40% of plant material are flowering shrubs.

Capital Drive - South (Private Road) 130 LF landscape buffer:
 Required: 6' buffer width, 782 SF buffer. Mix of Ornamental Trees, Conifers, Shrubs and sod achieving 80% opacity. 4 trees (2" caliper and 10' height). 50% shrubs and flowering plants that cover a minimum 391 SF, 25% of that plant material being flowering shrubs.
 Provided: 6' buffer width, 782 SF buffer. 2 ornamental trees, 3 conifers, 18 evergreen shrubs, 15 flowing shrubs achieving 80% opacity. 4 trees (2" caliper and 10' height). 42% of plant material are flowering shrubs.

Street Trees
 Street tree landscaping shall be installed on both sides of any right-of-way greater than 50' in width that is newly platted, or is improved with new roadway construction, or is redeveloped. 1 street tree shall be required for every 60' of street frontage. A mixture of street trees (Large, medium, small) shall be proposed from the list of approved street trees as identified within the "Standards and Guidelines for Landscaping and Tree Preservation." No more than 30% of the required trees may be from one tree species. Required street trees shall generally be planted at intervals of at least 60' on center; however, trees may be clustered and placed at uneven intervals upon approval of the city arborist when it is determined that such placement will address unique site conditions impacting public health, safety and welfare.

W. Vawter School Road - Per Copperstone Corner PD Plan, Vawter School Rd. perimeter landscape buffer shall be viewed as Phase 1 of the planned development.

Street trees shall comply with Section 29-4.4(d)(2)(i-vii) of the City Code.

Provided: Developer is providing large deciduous shade trees at 40' o.c. as Vawter School Rd. street tree landscaping requirement.

Capital Drive - East (Private) (321 LF):
 Required: 6 trees
 Provided = 3 (50%) large to medium trees, 3 (50%) small trees
 Exact placement of trees to be determined by City of Columbia at the time of development.

Capital Drive - South (Private) (177 LF):
 Required: 3 trees
 Provided = 2 (68%) large to medium trees, 1 (32%) small trees
 Exact placement of trees to be determined by City of Columbia at the time of development.

Property Edge Buffer

Lot 101 does not require property edge buffering. In accordance with table 4.4-4 of the UDC, no buffer required at commercial to commercial transition

Parking Area Landscape

Parking area contains 67 parking spaces which is less than 100 parking spaces. Therefore, NO minimum parking area landscaping required.

Interior Landscape Area

1 tree within a minimum 170 SF growspace per 4,000 SF of paved area. No less than 30% shall be of a species of medium shade trees. No less than 40% shall be of a species of large shade trees. No single tree species shall make up more than 40% of the trees required to be planted in the interior of the parking area.

Pavement area = 36,842 SF

Required: 10 trees, 1,700 SF growspace
 Provided: 6 (60%) large shade trees, 4 (40%) medium shade trees, 2,645 SF growspace

Screening of Outdoor Storage Areas

All exterior storage areas shall be enclosed by a permanent screen at least 8' in height. When a solid wall or any solid fence is used for screening, ornamental landscaping shall be placed between the fence and the adjacent property lines.

Required: 8' wall, ornamental landscaping
 Provided: 8' wall, 4 coniferous trees, 5 evergreen shrubs, 7 deciduous shrubs

Preservation of Existing Landscape

Removal and replacement of significant trees shall comply with section 29-4.4(g)(1-3) of the City Code. There are no significant deciduous trees on this site.

Not Applicable, No existing trees on site.

Snow Storage Areas

Areas required for snow storage and areas required for landscaping shall not overlap, except that snow may be stored on ground cover landscape areas (e.g., turf) that do not contain required landscape trees or other plantings.

Provided: Refer to plan for location.

NOTE:
 Substantial completion date for site work may vary from that of the building substantial completion date. Coordinate with Architect for completion dates. This site will have a permanent irrigation system. Until the permanent irrigation system is fully functional, the Contractor shall use whatever means necessary (including a temporary irrigation system) to achieve the following water application until establishment per the specification. Similarly, the same water application shall be utilized once the permanent irrigation system is fully functional.

Water sod regularly to maintain an adequate supply of moisture penetration through sod into top 6 inches of topsoil. Adequate moisture supply during Fall and Spring planting dates is the equivalent of one inch of absorbed water per week either through natural rainfall or augmented by periodic waterings. Apply water at a moderate rate so as not to displace the mulch or flood the turf areas. Adequate moisture should be divided into two to three waterings per week, as directed by the Owner's Representative. During the summer (June 2 through August 31) watering may be required on a daily basis, as directed by the Owner's Representative. During the winter months confer with the Owner's Representative regarding the frequency of watering.

Sodded areas are properly established such that within any 10' x 10' area of turf there is less than 5% weed coverage; sod is free of bare and dead spots and is without weeds; and no surface soil is visible when grass has been cut to height of 2-1/2 inches.

GENERAL CONTRACTOR IS RESPONSIBLE FOR CARE OF THE INSTALLED SOD FOR A MINIMUM OF 60 DAYS.

Refer to specifications for additional information.

Olsson, INC. Engineering MO State Cert. of Authority #001582
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 550 St. Louis St.
 Springfield, MO 65806
 TEL 417.890.8802 www.olson.com

olsson

JANE K. DONEY EARNHART
 LANDSCAPE ARCHITECT
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REV. NO.	REVISIONS DESCRIPTION	DATE	DESCR.	DATE	REVISIONS

LANDSCAPE CALCULATIONS

PD PLAN
 DIVENTURES OF COLUMBIA

COLUMBIA, MISSOURI

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811 Know what's below.
 Call before you dig.

CALL 811 SEVENTY-TWO HOURS PRIOR TO
 DIGGING, GRADING OR EXCAVATING FOR THE
 MARKING OF UNDERGROUND MEMBER UTILITIES.

L101

