WALK ON'S PROJECT AREA

LOCATION MAP NOT TO SCALE

PARCEL NUMBER: **BROADWAY BLUFFS SUBDIVISION LOT 5**

SIGN NOTES

- 1. THE MAXIMUM NUMBER OF FREE STANDING SIGNS ON THE SITE WILL BE ONE (1).
- THIS SIGN SHALL BE AN ILLUMINATED, FREE STANDING MONUMENT SIGN ALONG BROADWAY BLUFF DRIVE WITH A MAXIMUM HEIGHT OF TWELVE (12) FEET AND A MAXIMUM SURFACE AREA OF SIXTY-FOUR (64) SQUARE FEET. SIGN PROXIMITY TO THE EAST AND WEST PROPERTY LINE SHALL NOT BE LIMITED.

2531 BROADWAY BLUFFS DR

2541 BROADWAY BLUFFS DR ZONE: C-P

2551 BROADWAY BLUFFS DR

ZONE: C-3 0.67 ACRES

2. ALL WALL SIGNS SHALL MEET M-C REQUIREMENTS.

BUILDING NOTES

1. THE MAXIMUM HEIGHT OF THE PROPOSED BUILDING SHALL BE THIRTY-FIVE (35)

25 FEET

- 2. MAXIMUM ALLOWABLE BUILDING AREA SHALL BE 8,500 SQUARE FEET.
- 3. BUILDING SETBACKS SHALL BE AT LEAST:
- BROADWAY BLUFFS DRIVE RIGHT-OF-WAY:
- EAST PROPERTY LINE:
- 10 FEET WEST PROPERTY LINE: 10 FEET NORTH PROPERTY LINE: 10 FEET

LIGHTING NOTES

- THE PROPOSED MAJOR AMENDMENT WILL CHANGE NONE OF THE EXISTING LIGHTING FOR THE SITE.
- ALL LIGHT STANDARDS SHALL BE EQUAL TO THOSE USED AND APPROVED IN THE BROADWAY SHOPS DEVELOPMENT. THE MAXIMUM NUMBER OF ADDITIONAL LIGHT STANDARDS SHALL BE EIGHT (8). ALL LIGHTS SHALL HAVE A MAXIMUM HEIGHT OF TWENTY-FIVE (25) FEET, AS MEASURED FROM THE BASE. FIXTURES SHALL BE FULL CUT OFF FIXTURES.

FLOODPLAIN NOTES

- THE MAJOR AMENDMENT IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN.
- THE NEAREST FLOODPLAIN PER FEMA FIRM PANEL 29019C0283E, EFFECTIVE DATE 04/19/2017, IS APPROXIMATELY 80 FEET NORTH OF THE SITE, ALONG HINKSON CREEK, WITH A BASE FLOOD ELEVATION OF APPROXIMATELY 661.4.
- THE PROPOSED MAJOR AMENDMENT WILL NOT HAVE AN IMPACT UPON THE FLOODPLAIN, AS IT IS BEING BUILT WITHIN AN EXISTING DEVELOPMENT WHICH IS APPROXIMATELY 60 FEET HIGHER THAN THE BASE FLOOD ELEVATION OF THE FLOODPLAIN AND WILL NOT INCREASE THE IMPERVIOUS AREA OF THE EXISTING SITE.

STORMWATER NOTES

00000 BROADWAY BLUFFS

 THE PROPOSED MAJOR AMENDMENT WILL ADD NO IMPERVIOUS AREA, NOR NEW DRAINAGE FEATURES, TO THE SITE.

CIVIL LEGENDS

LINETYPES

SYMBOLS

CONIFEROUS TREE

MARKER STONE	PL	PROPERTY LINE
RIGHT OF WAY MARKER	RW	RIGHT OF WAY LINE
IRON PIN FOUND		SANITARY SEWER LINE
IRON PIN SET	FM	SANITARY SEWER FORCE MAIN
CUT CROSS		STORM SEWER LINE
CONTROL POINT	IRR	IRRIGATION WATER LINE
BENCHMARK		FLOW LINE
SANITARY SEWER MANHOLE	OHE	OVERHEAD ELECTRIC LINE
STORM SEWER INLET	UE	UNDERGROUND ELECTRIC LINE
TELEPHONE MANHOLE	G	GAS LINE
POWER POLE	——— W ————	WATER LINE
GUY ANCHOR	c	COMMUNICATIONS LINE
LIGHT POLE	T	TELEPHONE LINE
TELEPHONE RISER	FO	FIBER OPTIC LINE
GAS VALVE	CTV	CABLE TELEVISION
GAS METER	0 ———	CHAIN LINK FENCE
WATER VALVE	X	BARBED WIRE FENCE
WATER METER		WOOD FENCE
FIRE HYDRANT	1000-	EXISTING MAJOR CONTOUR
IRRIGATION VALVE	1001	EXISTING MINOR CONTOUR
WELL	1000	PROPOSED MAJOR CONTOUR
MAIL BOX	1001	PROPOSED MINOR CONTOUR
POST		SILT FENCE / SILT SOCK
CLEANOUT	~~~~	TREE LINE
SIGN		
AIR CONDITIONING UNIT		
SHRUB		
DECIDUOUS TREE		

KEY NOTES:

- EXISTING 8" PVC SANITARY SEWER GRAVITY MAIN.
- 2 EXISTING PRIVATE SEWER LATERAL.
- (3) EXISTING TRANSFORMER.
- 4 EXISTING 18" RCP STORM SEWER LINE.
- APPROXIMATE PROPERTY LINE EXTENTS BASED UPON COLUMBIA GIS DATA AND RECORD SURVEY DRAWINGS.
- (6) PROPOSED 600 SQUARE FOOT ENCLOSURE.
- (7) EXISTING WATER MAIN.
- (8) EXISTING 4" GAS MAIN.
- 9 EXISTING WALKWAY.
- 10 EXISTING UTILITY EASEMENT.

GENERAL NOTES:

PROPERTY OWNER:

BB LOT 5, LLC 2541 BROADWAY BLUFFS DR

7,898 SQFT

8,498 SQFT

EXISTING GROSS FLOOR AREA: PROPOSED GROSS FLOOR AREA:

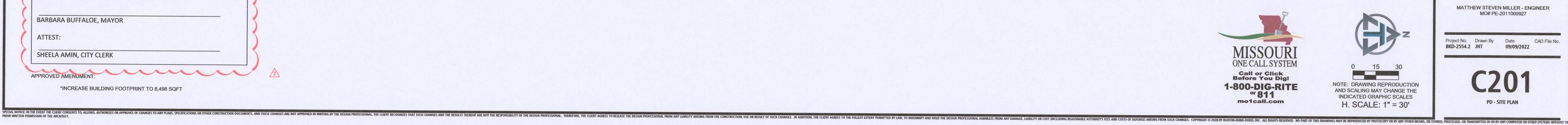
PARKING SCHEDULE NOTES:

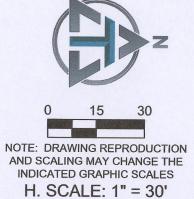
PARKING SPACES REQUIRED = 7,898 SQFT /150 = 53 SPACES EXISTING PARKING SPACES PROVIDED = 128 SPACES ADA SPACES REQUIRED FOR 101-150 SPACES:

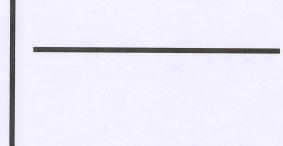
> ACCESSIBLE PARKING SPACES REQUIRED = 5 SPACES VAN ACCESSIBLE PARKING SPACES REQUIRED = 1 SPACES

ADA SPACES PROVIDED:

ACCESSIBLE PARKING SPACES PROVIDED = 5 SPACES VAN ACCESSIBLE PARKING SPACES PROVIDED = 1 SPACES







BUXTON KUBIK DODD

DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 30

SPRINGFIELD, MO 65807

PHONE: 417.890.5543 FAX: 417.890.5563 MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

Engliges of seeds a tietle ploning time?"

REVISED PER CITY

COMMENTS

10/04/22

10/13/22

RENOVATION FOR

PROJECT:

HOULIHAN'S PD PLAN 2541 BROADWAY BLUFFS DR COLUMBIA, MISSOURI

MODIFICATIONS:

1550 EAST REPUBLIC ROAD SPRINGFIELD, MO 65804

PH: 417.888.0645 - F: 417.888.0657

www.TOTHASSOCIATES.com

TOTH & ASSOCIATES, INC. MO STATE CERTIFICATE OF AUTHORITY # 2004004242

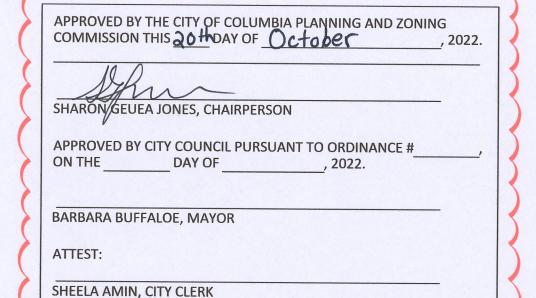
PD PLAN MAJOR AMENDMENT FOR BLDC 2111-2022:



MATTHEW STEVEN MILLER - ENGINEER MO# PE-2011000927

 Project No.
 Drawn By
 Date
 CAD File No.

 BKD-2554.2
 JHT
 09/09/2022



APPROVED AMENDMENT:

*INCREASE BUILDING FOOTPRINT TO 8,498 SQFT

BROADWAY BLUFFS SUBDIVISION LOT 5 - WALK ON'S MAJOR AMENDMENT TO EXISTING PD PLAN FOR HOULIHAN'S



APPROVED BY THE CITY OF COLUMBIA PLANNING AND ZONING COMMISSION THIS 20th DAY OF October, 2022.
SHARON SEUEA JONES, CHAIRPERSON
APPROVED BY CITY COUNCIL PURSUANT TO ORDINANCE #, ON THE DAY OF, 2022.
BARBARA BUFFALOE, MAYOR
ATTEST:
SHEELA AMIN, CITY CLERK

PLANTING LIST						
TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY PROVIDED	MATURE SIZE			
	SHRUBS (SH)		HT. X SP.			
GF	GOLDFLAME (SPIRAEA JAPONICA)	6	3' X 4'			
	GRASSES (GR)					
AJ	AUTUMN JOY SEDUM (SEDUM SPECTABILE)	11	1.5' X 1.5'			
LT	LILYTURF (LIRIOPE MUSCARI)	11	1.5' X 1.5'			

	SHRUB PLANTING KEY
*	= (GF) GOLDFLAME
*	= (AJ) AUTUMN JOY SEDUM
<u>~</u>	= (LT) LILYTURF

TOTAL AREA PAVED AREA EXISTING CLIMAX FOREST AREA			= 1.68 ACRES = 43,850 SQFT = 0 SQFT
LANDSCAPING REQUIRED LANDSCAPING AREA PROVIDED	29-4.4(c)(2)(ii)	= 1.68 ACRES * 0.15	= 10,980 SQFT = 14,650 SQFT
INTERIOR PARKING AREA: TREES REQUIRED	29-4.4(f)(4)	= 43,850 SQFT/ 4,000	= 11
STREET FRONTAGE: LANDSCAPING STRIP REQUIRED MEDIUM TREES REQUIRED	29-4.4(d)(1) 29-4.4(e)(2)(iii)(B)	= 300 SQFT / 200	= 300 SQFT = 2
BUFFER YARD: TREES REQUIRED	29-4.4(e)(1)(i)		= 0
5-8" DBH TREES PRESERVED 8-12" DBH TREES PRESERVED >12" DBH TREES PRESERVED			= 4 = 6 = 0
TOTAL TREES REQUIRED TREE PRESERVATION CREDIT	29-4.4(g)(2)	= 11 + 2 = 4(1) + 6(2)	= 13 = 16

THE CHANGES AND THE BESILTS THEREOF ARE NOT THE DESIGN THE FOLIAN SECONDAL THE GENERAL THE

HATCH LEGEND:

LAWN RESTORATION. INSTALL TOPSOIL, SEED, & MULCH IN ACCORDANCE WITH PROJECT SPECIFICATIONS. EXTENTS SHOWN DO NOT = NECESSARY REFLECT FULL EXTENTS OF RESTORATION REQUIRED. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS. INSTALL EROSION CONTROL BLANKET ON ALL SLOPES 15% OR STEEPER. SEE LANDSCAPING NOTES, THIS

LANDSCAPING. SMOOTHED SOIL TO BE COVERED BY WEED FABRIC AND TOPPED WITH 3" - 4" LAYER OF SHREDDED HARDWOOD MULCH, COLOR TO BE APPROVED BY OWNER. SEE LANDSCAPING NOTES, THIS SHEET.

KEY NOTES:

(1) EXISTING BUFFER YARD, TYP.

2 PROPOSED 600 SQUARE FOOT ENCLOSURE.

(3) OMITTED.

(4) EXISTING LANDSCAPING, TYP.

(5) EXISTING PLANTINGS, TYP.

(6) STREET FRONTAGE LANDSCAPING AREA.

7 DISTURB EXISTING TRANSFORMER.

8 EXISTING TREE.

(9) APPROXIMATE PROPERTY LINE EXTENTS BASED UPON COLUMBIA GIS DATA AND RECORD SURVEY DRAWINGS.

LANDSCAPING SHOWN ACCORDING TO CURRENT PD-PLAN FOR BROADWAY BLUFFS SUBDIVISION LOT 5. CONTRACTOR SHALL VERIFY LANDSCAPING MATCHES CURRENT PD-PLAN AT CONCLUSION OF CONSTRUCTION FOR MAJOR AMENDMENT. GENERAL LANDSCAPING NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.

2. STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.

3. THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.

4. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.

5. SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.

6. ANY MATERIAL WHICH DIES OR DEFOLIATES PRIOR TO ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED AND

7. CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQS.

8. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.

9. LANDSCAPED AREAS SHALL USE A COMBINATION OF AT LEAST FOUR (4) OF THE PLANT CATEGORIES FOUND IN THE PLANTING REQUIREMENTS OF THE CITY'S GUIDELINES FOR LANDSCAPING AND SCREENING.

10. LANDSCAPING OF THE SITE SHALL BE COMPLETED WITHIN ONE PLANTING SEASON (SPRING TO FALL) OF THE COMPLETION OF THE EXTERIOR OF THE BUILDING.

11. NO ACTIVITIES WITH THE POTENTIAL OF CAUSING DAMAGE TO THE ROOT SYSTEMS OF TREES SHALL BE ALLOWED WITHIN TWENTY (20) FEET OUTSIDE THE DRIP LINE OF THE TREES BEING PRESERVED, PROTECTED OR PLANTED AS PART OF THE LANDSCAPING OR TREE PRESERVATION PLAN.

12. TREE PROTECTION SHALL BE REQUIRED PRIOR TO AND DURING SITE DISTURBANCE AND CONSTRUCTION ACTIVITIES. NO ACTIVITIES WITH THE POTENTIAL OF CAUSING DAMAGE TO THE ROOT SYSTEMS OF TREES SHALL BE ALLOWED WITHIN TWENTY (20) FEET OUTSIDE THE DRIP LINE OF THE TREES BEING PRESERVED, PROTECTED OR PLANTED AS PART OF THE LANDSCAPING OR TREE PRESERVATION PLAN.

13. THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPING PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION.

14. KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.

15. REFER TO SITE GRADING PLAN FOR FINISH GRADES.

16. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTINGS FOR NOT LESS THAN 60 DAYS FROM INSTALLATION.

17. CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.

18. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE

DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF

19. THE ENTIRE SURFACE TO BE SEEDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER

20. PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT

21. BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS U.N.O.:

A. 2 PARTS BY VOLUME TOPSOIL. B. 1 PART BY VOLUME BROWN RIVER SAND.

C. 1 PART BY VOLUME PEAT MOSS. D. 1 LB. COMMERCIAL FERTILIZER PER C.Y. OF MIX.

22. ALL TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.

23. ALL PLANTINGS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT

24. PLANT MATERIALS SHALL BE SELECTED FROM THE CITY'S GUIDELINES FOR LANDSCAPING AND SCREENING OR APPROVED BY CITY ARBORIST.

25. ALL PLANT MATERIAL SHALL BE HARDY TO CENTRAL MISSOURI (USDA HARDINESS ZONE 5B), FREE OF DISEASE AND INSECTS, AND MUST CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF

26. NO ONE SPECIES FOR EACH PLANT TYPE MAY COMPRISE MORE THAN FIFTY (50) PERCENT OF THE TOTAL FOR THAT

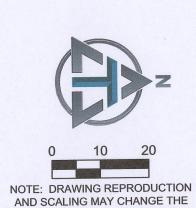
27. IN ALL AREAS WHERE LANDSCAPING IS REQUIRED, A MINIMUM OF FIFTY (50) PERCENT OF THE SURFACE AREA SHALL BE COVERED BY LIVING MATERIALS, RATHER THAN MULCH, WOOD CHIPS, BARK, GRAVEL, PEAT MOSS, OR OTHER

28. ALL OPEN AREAS SHALL BE GRADED, PROPERLY DRAINED, AND MAINTAINED TO ENCOURAGE ON-SITE WATER RETENTION AND PERCOLATION WHILE MINIMIZING PONDING OR STANDING WATER FOR PERIODS OF MORE THAN THREE

29. THE MINIMUM PLANTING SIZES FOR PLANTING MATERIALS, AT TIME OF PLANTING, SHALL BE AS SET FORTH IN TABLE 4.4-3 AND IN THE CITY'S GUIDELINES FOR LANDSCAPING AND SCREENING

30. REFER TO SITE PLAN FOR GROUND COVERING REQUIREMENTS.





INDICATED GRAPHIC SCALES

H. SCALE: 1" = 20'



3100 S. NATIONAL AVENUE, SUITE 300 SPRINGFIELD, MO 65807 MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

RENOVATION FOR



Busiquia sands a little playing times!

HOULIHAN'S PD PLAN 2541 BROADWAY BLUFFS DR COLUMBIA, MISSOURI

MODIFICATIONS:

1550 EAST REPUBLIC ROAD SPRINGFIELD, MO 65804 PH: 417.888.0645 - F: 417.888.0657 www.TOTHASSOCIATES.com

TOTH & ASSOCIATES, INC. MO STATE CERTIFICATE OF AUTHORITY # 2004004242

PD PLAN MAJOR AMENDMENT FOR BLDC 2111-2022:



MATTHEW STEVEN MILLER - ENGINEER MO# PE-2011000927

Project No. Drawn By Date BKD-2554.2 JHT 09/09/2022

PD - LANDSCAPING PLAN

*INCREASE BUILDING FOOTPRINT TO 8,498 SQFT