RADCLIFFE DR STREAM BUFFER OUTER ZONE LINE TABLE LINE $\# \mid \mathsf{DIRECTION} \mid \mathsf{LENGTH}$ OXFORÓ DR L1 | N71°09'00"E | 45.86' L2 N53°30'55"E 68.94' L3 N47°30'55"E 36.36' L4 N56°45'45"E 47.88' L5 N68°46'35"E 64.47' E GIBB SUBDIVISION BLOCK RECORDED L6 N73°18'20"E 91.47' L7 N62°39'45"E 77.59' L8 N70°57'45"E 65.77' L9 | N80°16'25"E | 112.10' FLOODWAY PER CITY OF COLUMBIA L10 | N66°34'25"E | 110.41' N 83°12'00" E 111.45'f L11 | N58°18'10"E | 32.26' L12 N72°43'00"E 22.77' N 06'11'00" E 69.00' CENTERLINE TRAIL (REC. 11-221) EASEMENT LINE TABLE LINE # DIRECTION LENGTH L13 N63°30'35"E 25.10 N 45°39'00" E 91.50'← L14 | N69°02'25"E | 31.91 L15 | N84°10'40"E | 47.83° L16 | N88°18'55"E | 16.82' L17 | S85°34'50"E | 87.36° L18 N50°01'30"E 67.02' L19 | N80°54'25"E | 104.64' L20 | N82°15'55"E | 309.77' TYPE II STREAM BUFER (W/25%+ SLOPES) 'N 29°09'15" E 98.58° SIGNIFICANT TREE - SOUTH QUARTER CORNER OF SECTION 15, TOWNSHIP 48 NORTH, RANGE 13 WEST FROM LAKE SHORE ESTATES SUBDIVISION RECORDED IN PLAT BOOK 7, PAGE 26) 255 (EX BUILDING TO BE REMOVED - Andrews N 83°02'10" W 2625.24' 680 685 TO REMAIN 690 E 1" IRON ROD = 19.06' N SE CORNER OF SECTION —14.05'W 15, TOWNSHIP 48 NORTH, 695 RANGE 13 WEST AS SHOWN BY CORNER DOCUMENT #600-42115 N 05°01'30" E 40.61'-16' UTILITY EASEMENT WESTWINDS DR. -(R/W VARIES, PROPOSED TO BE VACATED) -S 05°02'05" W 29.69' SEE NOTE 10 IFC COMPLIANT T-SHAPED TURN AROUND 0.46' W STADIUM BLVD. END OF FUTURE WESTWINDS DRIVE R/W VACATION REQUEST. BEGINNING OF FUTURE WESTWINDS DRIVE R/W VACATION REQUEST. FUTURE END OF CITY R/W AND CITY MAINTENANCE. E R/W 2.03' W 1.84' W BEARINGS ARE REFERENCED TO GRID NORTH OF THE MISSOURI STATE PLANE COORDINATE GENERAL NOTES SYSTEM NAD83(2011), EPOCH DATE 2010.00, CENTRAL ZONE, BY GPS OBSERVATIONS, USING 1. LOT NUMBERS ARE FOR INVENTORY PURPOSES ONLY. MODOT VRS NETWORK 2. SANITARY SEWER SERVICE TO THIS PLAT WILL BE PROVIDED BY PUBLIC GRAVITY SEWER EXTENSION FROM EXISTING CITY OF COLUMBIA GRAVITY SEWER MAIN, AS SHOWN ON THIS PLAT. CONNECTION POINT IS EXISTING MH #311 LOCATED WEST OF THE PROPERTY AND NORTH OF STADIUM BOULEVARD. 3. ALL PUBLIC GRAVITY SANITARY SEWER EXTENSIONS SHALL BE A MINIMUM OF 8" DIAMETER. SEWERS TO BE LOCATED WITHIN MINIMUM WIDTH EASEMENTS OR EASEMENTS EQUAL TO THE DEPTH OF THE SEWER IF SEWER DEPTH IS GREATER THAN 16 FEET. PUBLIC SANITARY SEWERS SHALL BE BUILT IN COMPLIANCE WITH CITY OF COLUMBIA STANDARDS AND SPECIFICATIONS. 4. ALL LOTS SHALL HAVE A BUILDING SETBACK IN COMPLIANCE WITH THEIR ZONING. 5. A MINIMUM 10' UTILITY EASEMENT SHALL BE PROVIDED ADJACENT TO ALL PROPOSED STREETS SHOWN UNLESS LABELED OTHERWISE. UTILITY EASEMENT WIDTHS WILL BE SUBJECT TO REVIEW AND APPROVAL OF ALL APPLICABLE UTILITY SERVICE PROVIDERS. LEGEND 6. NATURAL GAS DISTRIBUTION TO BE DESIGNED AND PROVIDED BY AMEREN MISSOURI. 7. DRAINAGE EASEMENTS SHALL HAVE A MINIMUM WIDTH OF 16' OR WIDER AS NEEDED AND SHALL BE PROVIDED TO CONTAIN THE RUNOFF IN CONCENTRATED FLOWS FROM A 1% EXISTING IRON PIPE OR REBAR ANNUAL CHANCE RAINFALL EVENT. EXISTING MoDOT RIGHT-OF-WAY MARKER EXISTING SANITARY MANHOLE — PROPOSED SANITARY 8. STREET GRADES, STORM SEWER PIPE AND STORM INLETS, AND SANITARY SEWER LOCATIONS SHOWN ARE CONCEPTUAL IN NATURE AND WILL BE REFINED WITH THE FINAL PROPOSED SANITARY MANHOLE == == == EXISTING STORM SEWER APPROVED BY THE PLANNING AND CO ⊚ EXISTING SANITARY CLEANOUT PROPOSED STORM SEWER PROPOSED SANITARY CLEANOUT 9. FORTY-SEVEN SIGNIFICANT TREES HAVE BEEN IDENTIFIED FOR PRESERVATION. THESE TREES MAY BE REPLACED OR SUBSTITUTED PER ORDINANCE REQUIREMENTS. ZONING COMMISSION THIS ____ DAY OF FH 🌣 EXISTING FIRE HYDRANT

OF PROPOSED RIGHT-OF-WAY VACATION.

10. THERE WILL BE A FUTURE REQUEST TO VACATE THE CITY PORTION OF THE WESTWINDS DRIVE RIGHT-OF-WAY ADJACENT TO THIS TRACT. SEE GRAPHIC ABOVE FOR LOCATION

11. FURTHER SUBDIVISION OF EITHER LOT IS PROHIBITED UNLESS RIGHT-OF-WAY IS DEDICATED AND STREETS ARE CONSTRUCTED TO SERVE ALL LOTS.

EXISTING CONTOUR

CITY OF COLUMBIA CORPORATE LIMITS

EXISTING SIGNIFICANT DECIDUOUS TREE

FH 🎾 PROPOSED FIRE HYDRANT

PP · EXISTING UTILITY POLE

SARA LOE, CHAIRPERSON

E EXISTING ELECTRIC TRANSFORMER

EXISTING TELEPHONE BOX

EXISTING WATER VALVE PROPOSED STREET GRADE

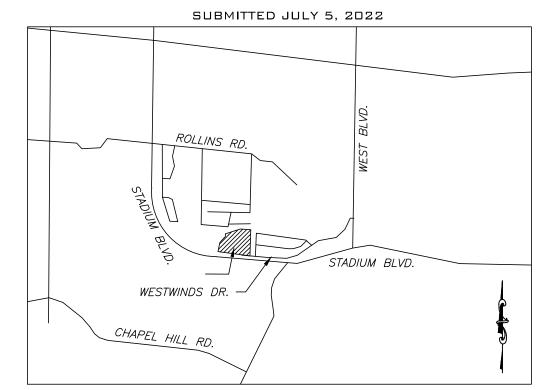
PRELIMINARY PLAT

HIDDEN HAVEN

BEING PART OF THE SOUTHEAST 1/4

OF SECTION 15, T48N, R13W, AND PART OF THE NORTHEAST 1/4 OF SECTION 22, T48N, R13WCITY OF COLUMBIA,

BOONE COUNTY, MISSOURI



LOCATION MAP

OWNER/DEVELOPER

SONYA ANDREASSEN-HENDERSON SONYA.ANDREASSEN@PNC.COM

SITE DATA ACREAGE: 10.79 ACRES

SECTION—TOWNSHIP—RANGE: 15-48-13 & 22-48-13 EXISTING ZONING = R-1

STREAM BUFFER STATEMENT

THIS TRACT IS REGULATED BY THE STREAM BUFFER REQUIREMENTS IN SECTION 12A, ARTICLE X OF THE CITY OF COLUMBIA CODE OF ORDINANCES AS DETERMINED BY THE USGS MAP FOR COLUMBIA QUADRANGLE, BOONE COUNTY, MISSOURI. A TYPE II STREAM BUFFER AS REGULATED IS SHOWN.

FLOOD PLAIN STATEMENT

A PORTION OF THIS TRACT IS LOCATED WITHIN A ZONE X (SHADED) FLOOD HAZARD AREA AS DEFINED BY CITY OF COLUMBIA ORDINANCE 29-2.3(d)(4), PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM) PANEL #29019C0280E, DATED APRIL 19, 2017.

STORMWATER MANAGEMENT

THIS DEVELOPMENT IS SUBJECT TO THE CURRENT CITY OF COLUMBIA STORMWATER ORDINANCE AS PER SECTION 12-A-87(e).

LANDSCAPING AND TREE PRESERVATION

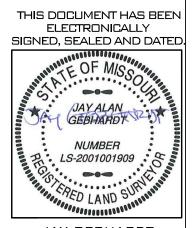
THERE IS CURRENTLY 856.93 LF OF STREET FRONTAGE. 856.93 LF/40 FT. = 22 STREET TREES REQUIRED. A FUTURE REQUEST FOR VACATION OF A PORTION OF WESTWINDS DRIVE MAY CHANGE THIS FOOTAGE AND NUMBER OF STREET TREES REQUIRED. EXACT PLACEMENT OF TREES TO BE DETERMINED BY CITY OF COLUMBIA AT THE TIME DEVELOPMENT PLANS ARE REVIEWED.

- 2. STREET TREES SHALL COMPLY WITH SECTION 29-4.4(d)(2)(i-vii) OF THE CITY CODE.
- REMOVAL AND REPLACEMENT OF SIGNIFICANT TREES SHALL COMPLY WITH SECTION 29-4.4(g)(1-3) OF THE CITY CODE. THERE ARE FORTY-SEVEN (47) SIGNIFICANT DECIDUOUS TREES ON THIS SITE.

PROPERTY DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 48 NORTH, RANGE 13 WEST, AND THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 48 NORTH, RANGE 13 WEST, CITY OF COLUMBIA, BOONE COUNTY, MISSOURI, BEING DESCRIBED BY WARRANTY DEED RECORDED IN BOOK 5640, PAGE 156, RECORDS OF BOONE COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 15, TOWNSHIP 48 NORTH, RANGE 13 ALSO BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WESTWINDS DRIVE; THENCE S 05°02'05"W, 29.69 FEET TO THE NORTH RIGHT-OF-WAY LINE OF STADIUM BOULEVARD (STATE ROUTE 740); THENCE WITH WITH THE NORTH RIGHT-OF WAY LINE OF STADIUM BOULEVARD (STATE ROUTE 740), N 05°01'30"E, 40.61; THENCE N 83°02'10"W, 534.44 FEET; THENCE LEAVING SAID RIGHT-OF-WAY LINE N 08°25'00"E, 192.28 FEET; THENCE N 29°09'15"E, 98.58 FEET; THENCE N 38°16'00"E, 85.65 FEET; THENCE N 45*39'00"E, 91.50 FEET; THENCE N 06*11'00"E, 69.00 FEET; THENCE N 83°12'00"E, 111.45 FEET, THENCE N 68°49'00"E, 273.74 FEET; THENCE S 83°26'55"E, 295.92 FEET TO A POINT LYING ON THE EAST LINE OF SAID SECTION 15; THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION 15 S 00°59'20"W, 658.46 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.79 ACRES.



JAY GEBHARDT MO PE-25052 JULY 29, 2022

SURVEY AND PLAT BY A CIVIL GROUP CORPORATE NO. 2001006116



A CIVIL GROUP

CIVIL ENGINEERING - PLANNING - SURVEYING 3401 BROADWAY BUSINESS PARK COURT SUITE 105

COLUMBIA, MO 65203 PH: (573) 817-5750, FAX: (573) 817-1677 MISSOURI CERTIFICATE OF AUTHORITY: 2001006115