

OWNER
PRIME DEVELOPMENT CORPORATION
2311 EAST WALNUT
COLUMBIA, MISSOURI 65201
(573) 7-1978

FLOOD PLAIN STATEMENT
THIS TRACT IS NOT LOCATED IN THE BOONE COUNTY'S FLOOD PLAIN MAPS.

- NOTES**
- CONTRACTOR SHALL VERIFY EXISTING CONDITION AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
 - BUILDING SIZE AND DIMENSIONS ARE APPROXIMATE. SEE ARCHITECT'S PLANS FOR ACCURATE DIMENSIONS.
 - TRACT IS ZONED C-P.
 - LOT 10 IS 3.29 ACRES.
 - ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
 - ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS SHOWN OTHERWISE.
 - DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED AS PER CITY OF COLUMBIA STANDARDS.
 - PAVING CONTRACTOR SHALL PROVIDE PERMANENT PAVEMENT MARKING (STRIPING) 4 INCHES WIDE USING PAVEMENT PAINT APPROPRIATE FOR STRIPING THE PARKING AREAS. COLOR SHALL BE WHITE FOR GENERAL PARKING AND BLUE FOR HANDICAP SPACES.
 - SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF UTILITY CONNECTIONS.

LEGAL DESCRIPTION

LOTS 9, 10 & 11 OF EASTPORT CENTER PLAT 2-A LOCATED IN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 48 NORTH, RANGE 12 WEST, COLUMBIA, BOONE COUNTY, MISSOURI, BEING PART OF LOT 1B AND LOT 1C, EASTPORT PLAT 1-B, RECORDED IN PLAT BOOK 38, PAGE 63 CONTAINING _____ ACRES:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 10-48-12, BEING THE SOUTHEAST CORNER OF SAID EASTPORT PLAT 1-B; THENCE WITH THE LINES OF SAID EASTPORT PLAT 1-B, N89°09'10"W, 1285.47 FEET; THENCE 22.01 FEET ALONG A 500.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A CHORD, N18°33'20"W, 22.01 FEET; THENCE N17°17'40"W, 43.63 FEET TO THE POINT OF BEGINNING;

THENCE FROM THE POINT OF BEGINNING, CONTINUING N17°17'40"W, 199.02 FEET; THENCE 15.75 FEET ALONG A 493.00-FOOT RADIUS CURVE TO THE LEFT, SAID CURVE HAVING A CHORD, N18°12'35"W, 15.75 FEET; THENCE N19°07'30"W, 135.02 FEET; THENCE LEAVING THE LINES OF SAID EASTPORT PLAT 1-B, N70°52'30"E, 192.57 FEET; THENCE N0°00'00"E, 194.35 FEET; THENCE S90°00'00"E, 129.00 FEET; THENCE S0°00'00"W, 191.27 FEET; THENCE S13°36'20"E, 410.24 FEET; THENCE N90°00'00"W, 299.11 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.29 ACRES.

PARKING CALCULATIONS

LOT 10

REQUIRED PARKING

12,987 S.F. RETAIL @ 1/200 = 65 SPACES
40,000 S.F. FURNITURE STORE @ 1/400 = 100 SPACES
TOTAL PARKING REQUIRED = 165

PROVIDED PARKING

151 SPACES + 6 H.C. SPACES + 12 BICYCLE SPACES
TOTAL SPACES = 167

DESIGN PARAMETERS

- THE MAXIMUM GROSS SQUARE FOOTAGE OF BUILDING FLOOR AREA SHALL BE 36,000 S.F.
- THE MINIMUM DISTANCE BETWEEN ANY BUILDING AND A PROPERTY LINE SHALL BE 15'; THE MINIMUM DISTANCE BETWEEN ANY BUILDING AND A RIGHT OF WAY LINE SHALL BE 25'.
- THE MAXIMUM HEIGHT OF ANY BUILDING ON SITE SHALL BE 36'.
- THE MINIMUM DISTANCE BETWEEN THE EDGE OF ANY DRIVEWAY, PARKING AREA, LOADING AREA, TRASH STORAGE AREA AND ANY ADJACENT PROPERTY LINES AND RIGHT OF WAY LINES SHALL BE 0' FOR PROPERTY LINES AND 6' FOR PUBLIC RIGHT OF WAY LINES.
- THE MINIMUM PERCENTAGE OF THE SITE TO BE MAINTAINED IN OPEN SPACE SHALL BE 15%.
- THERE WILL BE 1 FREESTANDING SIGNS ON THE SITE, THE BUILDING MOUNTED SIGNING WILL BE A MAXIMUM OF 612.5 SQUARE FEET.

WATERLINE NOTES

- WATERLINE SHALL BE APPROVED BY PWS# #9 ON SEPARATE PLAN AND SHALL MEET PWS# #9 SPECIFICATIONS

C-P PLAN
LOTS 9, 10 AND 11 EASTPORT CENTER
COLUMBIA, MISSOURI

REVISED:
APRIL 07 '05
JUNE 08 '05
JULY 06 '05

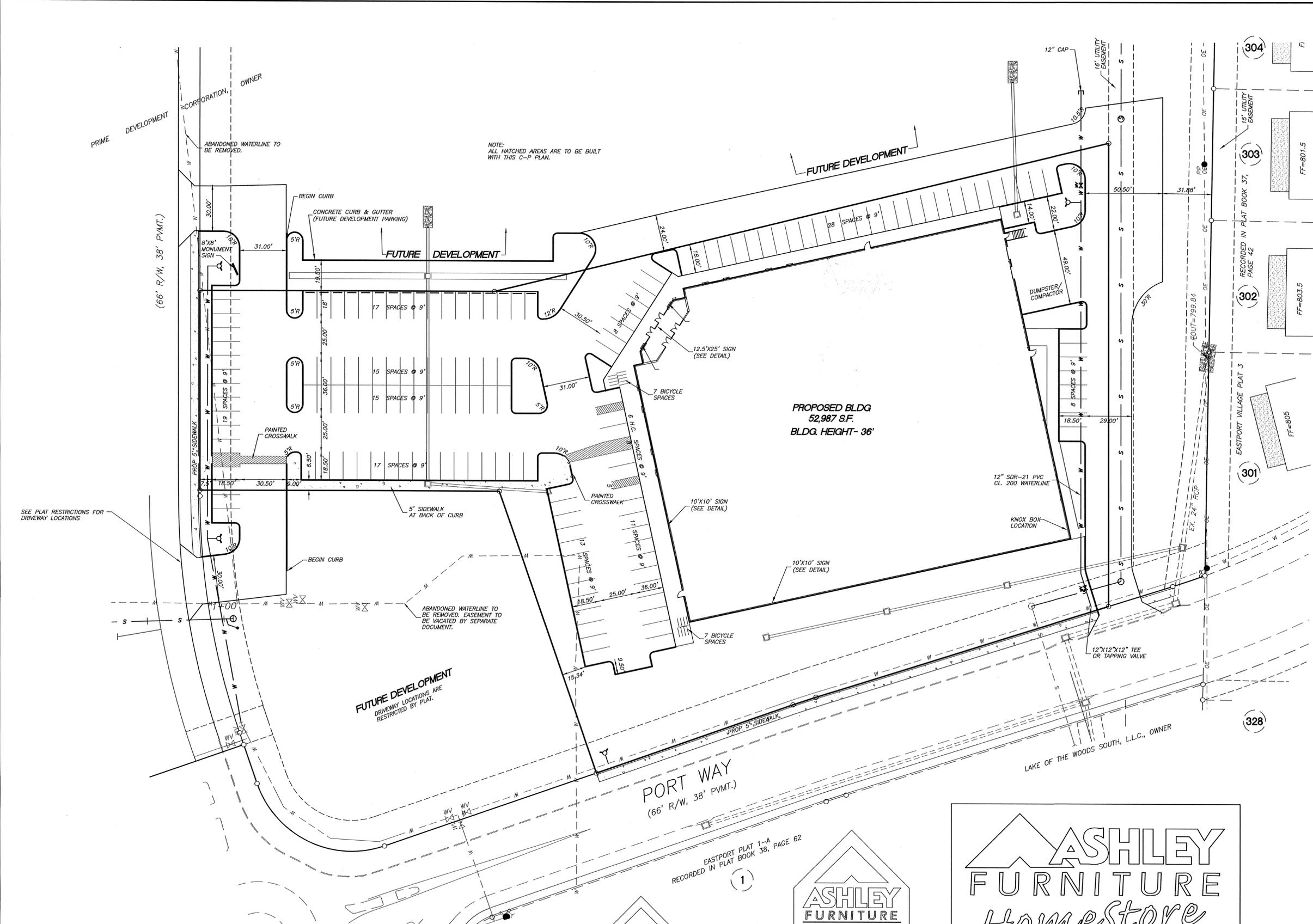
ALLSTATE CONSULTANTS, P.C.
3312 LEMONE INDUSTRIAL BLVD.
COLUMBIA, MO 65201
(573) 875-8799

SCALE: 1" = 30'

DATE: FEB. 24 '05

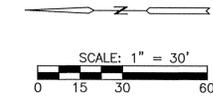
JOB #: 05075.02

SHEET: 1 OF 5



APPROVED BY THE COLUMBIA PLANNING AND ZONING COMMISSION THIS 17th DAY OF June, 2005.
JERRY WADE, CHAIRMAN

APPROVED BY THE COLUMBIA CITY COUNCIL THIS 5th DAY OF June, 2005.
DARWIN HINDMAN, MAYOR
SHEELA AMIN, CITY CLERK



LIGHTING SCHEDULE

MARK	MANUFACTURER	MODEL NO.	TYPE	VOLTS	AMPS	LAMPS	MOUNTING	REMARKS
A	KIM	WD18D4 400MH208 DB-P	WALL PACK	208	1.92	1-400W MH	BUILDING	MOUNTED @ 20' ABOVE FINISHED GRADE
B	LITHONIA	KSF2 400M R4SC 208 SP04	POLE LIGHT	208	1.92	1-400W MH	POLE	20' OVERALL POLE LIGHT
C	HYREL	MB410 SS 70MTR 120 NSP 34SNPY	ACCENT	120	0.5	1-70W MH	INGRADE	

*OR EQUAL

ENVIRONMENTAL STATEMENTS

1. SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
2. ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS OR CARTONS) SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.
3. THE APPLICANT SHALL NOTIFY BY TELEPHONE AND IN WRITING THE DEPARTMENT OF NATURAL RESOURCES, WATER POLLUTION CONTROL PROGRAM, POST OFFICE BOX 176, JEFFERSON CITY, MO 65102, 1-800-361-4827, OF ANY OIL SPILLS OR IF HAZARDOUS SUBSTANCES ARE FOUND DURING THE PROSECUTION OF WORK UNDER THIS PERMIT.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITION AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
2. BUILDING SIZE AND DIMENSIONS ARE APPROXIMATE. SEE SITE PLANS FOR ACCURATE DIMENSIONS.
3. TRACT IS ZONED C-P.
4. LOT 10 IS 3.29 ACRES.
5. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS SHOWN OTHERWISE.
6. DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED AS PER CITY OF COLUMBIA STANDARDS.
7. BACK SLOPES SHALL BE STABILIZED AS SOON AS GENERAL GRADING OPERATIONS ARE COMPLETE. IF VEGETATIVE COVER CAN NOT BE ESTABLISHED PRIOR TO THE ONSET OF WINTER, AN ALTERNATIVE METHOD OF STABILIZATION SHALL BE USED UNTIL VEGETATIVE COVER IS ESTABLISHED.

LAND PRESERVATION NARRATIVE

1. THE PROJECT INCLUDES THE DEVELOPMENT OF 3.29 ACRES. THE SITE IS CURRENTLY VEGETATED. CONSTRUCTION WILL CONSIST OF A BUILDING AND PARKING LOTS, STORM SEWER, SANITARY SEWER, WATERLINE, AND OTHER LINEAR UTILITIES.
2. DIVERSION BERMS, SILT TRAPS, SILT FENCE AND OTHER BMP'S SHALL BE INSTALLED, MAINTAINED AND ALTERED AS NEEDED ON SITE TO CONTROL SEDIMENT AND HELP ATTENUATE PEAK FLOW. THESE BMP'S SHALL BE USED TO INSURE CONTROL OF ON-SITE SEDIMENT AND TO INSURE THAT THIS DISTURBANCE DOES NOT AGGRAVATE EXISTING OFF SITE ISSUES.
3. RUNOFF PRODUCING FACTORS AND A COMPLETE HYDRAULIC ANALYSIS ARE ON FILE AT THE CITY OF COLUMBIA AND ALLSTATE CONSULTANTS. CALCULATIONS SUMMARIZING REQUIRED HYDRAULIC FEATURES ARE ON FILE AT THE CITY OF COLUMBIA AND ALLSTATE CONSULTANTS.
4. SEDIMENT CONTROL REMOVAL AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SUBSEQUENT LOT OWNER. THE MDNR OR OWNER MAY DIRECT MAINTENANCE AND ADDITIONAL BMP'S AS NEEDED TO ADDRESS CONCERNS OF WATER QUALITY.
5. THE ENTIRE PLAT AREA IS PLANNED TO BE DISTURBED. ALL DIVERSION BERMS AND CHECKS SHALL BE IN PLACE PRIOR TO MASS GRADING. SILT FENCES ARE TO BE IN PLACE PRIOR TO MASS GRADING UNLESS NOT POSSIBLE BECAUSE OF EARTHWORK.
6. SITE CONTAINMENT AND TERRAIN DEFINED THE USE OF DIVERSION BERMS TO SILT FENCE, SILT TRAPS AND ROCK CHECKS. SILT FENCE SHALL BE UTILIZED FOR SMALLER EFFECTED AREAS AND USED TO SUPPLEMENT FILTERING OF DISCHARGES.
7. THE DEVELOPER AND SUBSEQUENT LOT OWNER BUILDER SHALL INSPECT THE BMP'S AT INTERVALS NOT EXCEEDING 7 DAYS OR BEFORE AND AFTER RAINFALL THAT EXCEED 1/4 INCH IN PRECIPITATION.
8. TEMPORARY MULCH BE USED IN WINTER MONTHS FOR SLOPE STABILIZATION. FOLLOWING COMPLETION OF UTILITIES AND STREETS AND THE CONSTRUCTION OF THE HOMES, ALL SEEDING AND MULCHING SHALL BE COMPLETED. LOT OWNERS SHALL NOT REMOVE BMP'S UNTIL SITE IS STABILIZED BY VEGETATION.
9. THIS PLAN IS INTENDED TO COMPLY WITH SECTION 12A OF THE ORDINANCES OF THE CITY OF COLUMBIA STORM DRAINAGE DESIGN MANUAL.

EROSION CONTROL NOTES

1. ① DENOTES EROSION CONTROL STRUCTURES THAT SHOULD BE INSTALLED AS ROUGH GRADING BEGINS. TYPICALLY THE EROSION CONTROL STRUCTURES SHOULD BE INSTALLED IN THE AREAS DISTURBED AT THE END OF EACH DAY.
2. ② DENOTES EROSION CONTROL STRUCTURES THAT SHOULD BE INSTALLED AROUND DRAINAGE STRUCTURES AFTER THEY ARE INSTALLED AND REMOVED ONLY FOR PAVING OPERATIONS.
3. NATURAL GROUND COVER WILL BE MAINTAINED WHERE POSSIBLE.
4. HHHH DENOTES "FABRIC OR STRAWBALE SEDIMENT BARRIER." EROSION CONTROL STRUCTURES SHALL BE INSTALLED AT LOCATIONS DISTURBED AT END OF EACH DAY WHERE PRACTICAL.
5. EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL EFFECTED AREA IS STABILIZED. EROSION CONTROL STRUCTURES SHOULD BE FIELD ADJUSTED TO ACCOMPLISH DESIRED RESULTS. DEVELOPER SHALL PROVIDE EROSION CONTROL AROUND ANY STOCKPILED, EXCAVATED MATERIAL. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMITY WITH THE CITY OF COLUMBIA STORM DRAINAGE DESIGN MANUAL.
6. INLETS SHALL BE PROTECTED WITH SILT FENCE, "GUTTER BUDDIES" OR EQUIVALENT UNTIL AREA DRAINING TO INLET IS STABILIZED.
7. SILT TRAP DIMENSIONS MAY VARY AS FIELD CONDITIONS WARRANT AS LONG AS THE MINIMUM VOLUME REQUIREMENT IS MET.

**C-P GRADING PLAN
LOTS 9, 10 AND 11 EASTPORT CENTER
COLUMBIA, MISSOURI**

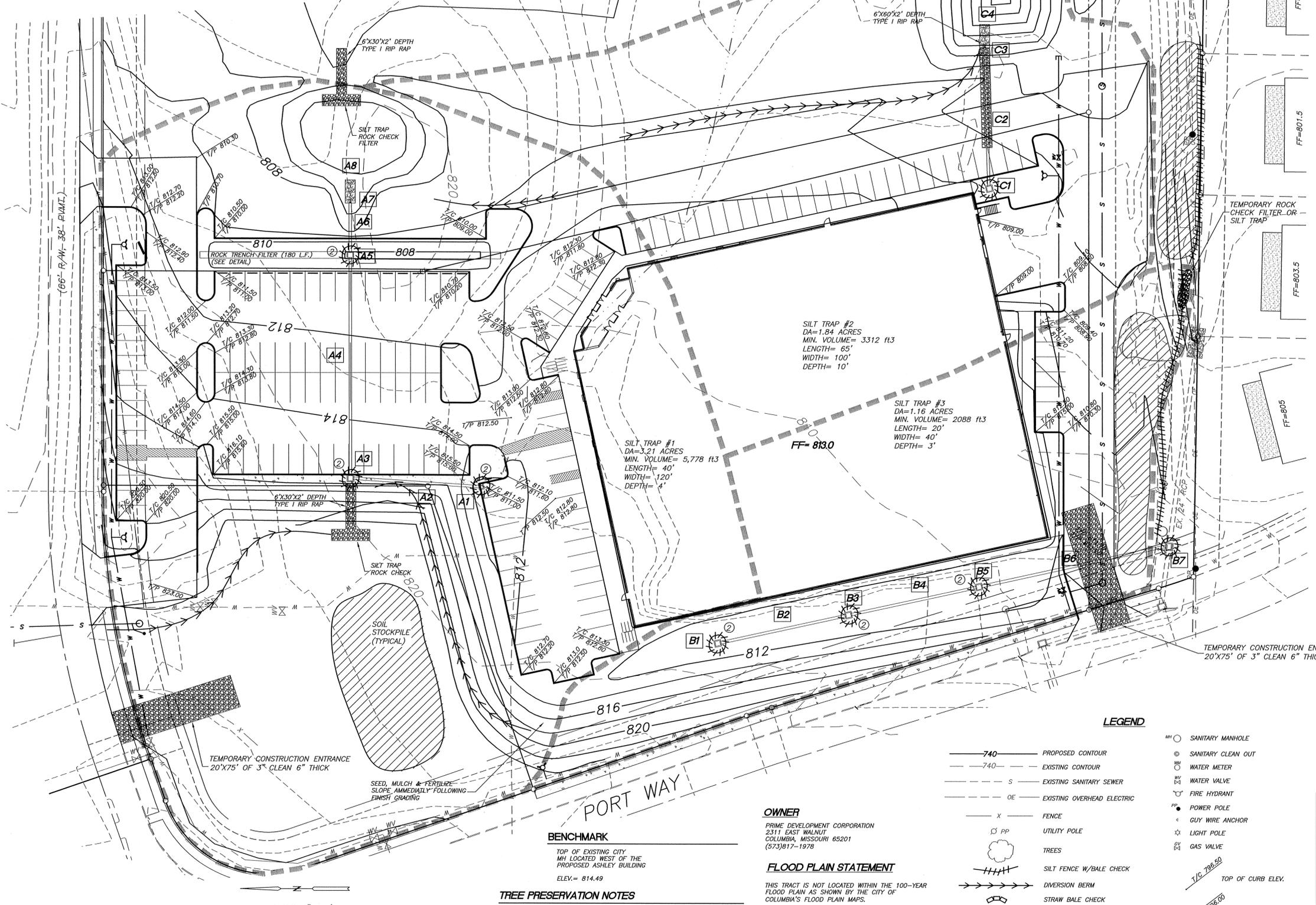
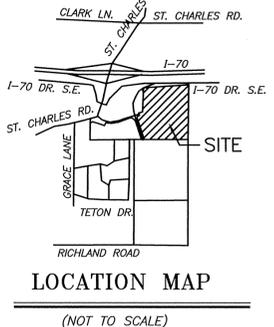
REVISED:
APRIL 07 '05

ALLSTATE CONSULTANTS, P.C.
3312 LEMONE INDUSTRIAL BLVD.
COLUMBIA, MO 65201
(573) 875-8799

SCALE:
1"=30'

DATE: FEB. 24 '05
JOB #: 05075.02
SHEET: 2 OF 5

CHAD W. SAYRE
E-27878



LEGEND

- SANITARY MANHOLE
- SANITARY CLEAN OUT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- POWER POLE
- GUY WIRE ANCHOR
- LIGHT POLE
- GAS VALVE
- 740 --- PROPOSED CONTOUR
- - - 740 - - - EXISTING CONTOUR
- S --- EXISTING SANITARY SEWER
- OE --- EXISTING OVERHEAD ELECTRIC
- X --- FENCE
- PP --- UTILITY POLE
- --- TREES
- HHH --- SILT FENCE W/BALE CHECK
- >---> --- DIVERSION BERM
- --- STRAW BALE CHECK
- --- ROCK CHECKS
- --- DRAINAGE AREA BOUNDARY
- --- SANITARY MANHOLE
- --- SANITARY CLEAN OUT
- --- WATER METER
- --- WATER VALVE
- --- FIRE HYDRANT
- --- POWER POLE
- --- GUY WIRE ANCHOR
- --- LIGHT POLE
- --- GAS VALVE
- --- TOP OF CURB ELEV.
- --- TOP OF PAVEMENT ELEV.

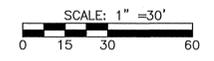
BENCHMARK
TOP OF EXISTING CITY
MH LOCATED WEST OF THE
PROPOSED ASHLEY BUILDING
ELEV. = 814.49

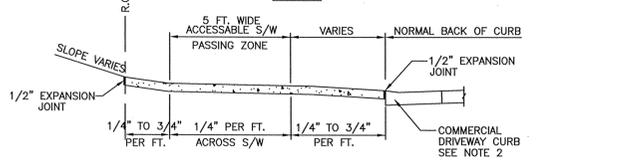
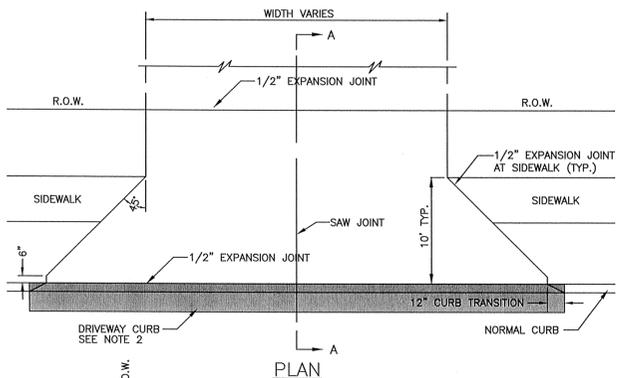
TREE PRESERVATION NOTES

1. THERE IS NO CLIMAX FOREST WITHIN THE DISTURBED AREA OF THIS PLAT.

OWNER
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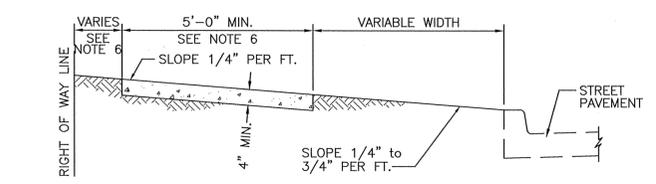
FLOOD PLAIN STATEMENT
THIS TRACT IS NOT LOCATED WITHIN THE 100-YEAR
FLOOD PLAIN AS SHOWN BY THE CITY OF
COLUMBIA'S FLOOD PLAIN MAPS.





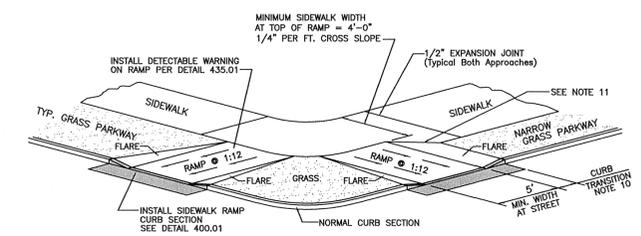
- NOTES:
1. DRIVEWAY APPROACH SHALL BE 7" THICK CLASS A CONCRETE.
 2. REPLACE STANDARD CURB & GUTTER SECTION WITH DRIVEWAY CURB SECTION. SEE DETAIL 400.03.
 3. EXPANSION JOINT SHALL BE 1/2" PREFORMED CORK OR BITUMINOUS EXPANSION JOINT MATERIAL.
 4. ALL DRIVEWAY APPROACHES SHALL SLOPE TOWARD THE STREET.
 5. ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED TO ACCOMMODATE SIDEWALKS. (EXISTING AND FUTURE) STANDARD SIDEWALK LOCATION IS 1 FOOT OFF OF RIGHT OF WAY LINE.
 6. DRIVEWAY APPROACH SHALL PROVIDE A MINIMUM 5' WIDE ACCESSIBLE SIDEWALK PASSING ZONE.
 7. DRIVEWAY SLOPE ACROSS ACCESSIBLE SIDEWALK PASSING ZONE IS 1/4" PER FT.
 8. MINIMIZE SIDEWALK WARPING ADJACENT TO DRIVEWAY APPROACH.
 9. DRIVEWAY SLOPE WITHIN RIGHT OF WAY SHALL NOT EXCEED 3/4" PER FOOT.

DRIVEWAY
(Commercial)
410.03



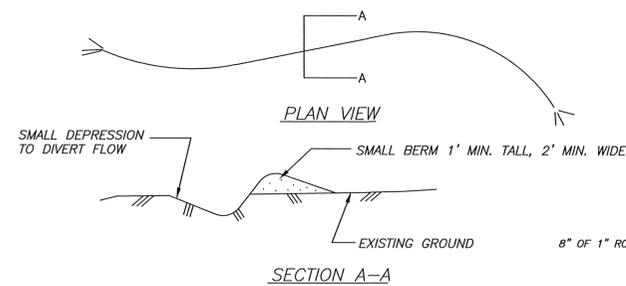
- NOTE:
1. SIDEWALK SHALL BE 4" THICK CLASS A CONCRETE.
 2. INSTALL 1/2" EXPANSION JOINTS AT INTERSECTIONS, RAMPS, STRUCTURES, AND DRIVEWAY APPROACHES.
 3. INSTALL TRANSVERSE SAW JOINTS AT SPACING = SIDEWALK WIDTH.
 4. FOR SIDEWALKS WIDER THAN 6 FT, INSTALL LONGITUDINAL SAW JOINT AT C, TRANSVERSE SAW JOINT SPACING = 1/2 SIDEWALK WIDTH.
 5. FOR SIDEWALKS LESS THAN 5'-0" WIDE, INSTALL A 60" BY 60" PASSING SPACE AT 200 FT MAXIMUM INTERVALS. DRIVEWAYS, RAMP LANDINGS AND INTERSECTING SIDEWALKS WHICH PROVIDE THE REQUIRED AREA QUALIFY AS PASSING SPACE. CROSS SLOPE OF PASSING SPACE CAN NOT EXCEED 1/4" PER FT.
 6. STANDARD SIDEWALK PLACEMENT IS 12" FROM RIGHT OF WAY LINE.
 7. SIDEWALK WIDTH FOR COLLECTOR STREETS AND ARTERIAL STREETS IS 5'-0".

SIDEWALK
420.01

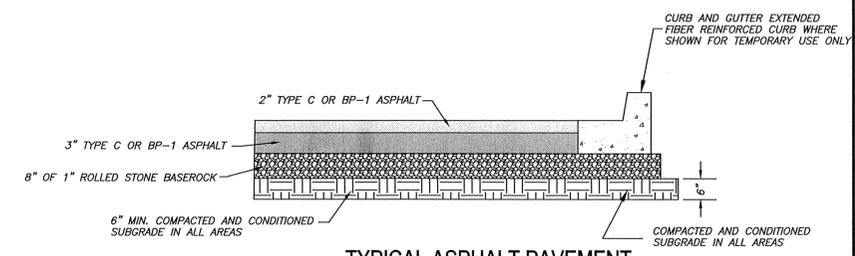
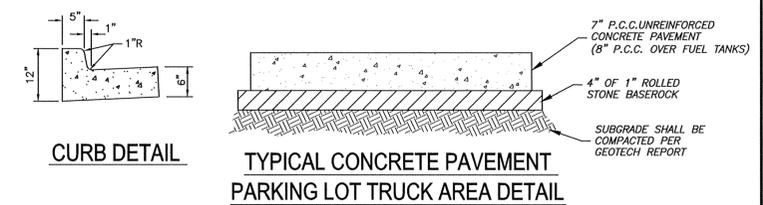


- NOTE:
1. RAMP SHALL BE 4" THICK CLASS A CONCRETE.
 2. EXPANSION JOINT SHALL BE 1/2" PREFORMED CORK OR BITUMINOUS EXPANSION JOINT MATERIAL.
 3. MAXIMUM RAMP CROSS SLOPE IS 1/4" PER FT.
 4. ALL SLOPES ARE MEASURED FROM THE HORIZONTAL.
 5. REPLACE STANDARD CURB SECTION WITH SIDEWALK RAMP CURB SECTION - DETAIL 400.01
 6. RAMP LENGTH IS DEPENDENT ON 1:12 MAX. SLOPE. USE FLATTER WHEN POSSIBLE.
 7. LANDING AREA AT TOP OF RAMP SHALL BE 4'-0" MIN. WIDTH, CROSS SLOPE OF LANDING SHALL NOT EXCEED 1/4" PER FT., INCREASE SIDEWALK RADIUS TO OBTAIN MINIMUM 4'-0" LANDING.
 8. TYPE "A" RAMP NOT APPLICABLE IF SIDEWALK AND PARKWAY WIDTH DOES NOT PROVIDE 4'-0" LANDING AT TOP OF RAMP.
 9. FLARES ARE REQUIRED AT RAMPS TO KEEP GRASS PARKWAY SLOPES IN CONFORMANCE WITH THE TYPICAL CROSS SECTION.
 10. CURB TRANSITION LENGTH IS DEPENDENT ON FLARE SLOPE
 11. IF RAMP EXTENDS INTO NORMAL SIDEWALK, FLARE SLOPE MUST NOT EXCEED 1:10. A LANDING IS REQUIRED, SEE NOTE 7.

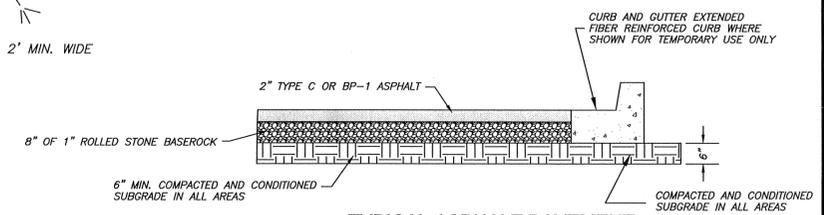
SIDEWALK RAMP
Sidewalk with Grass Parkway
(Type A)
430.01



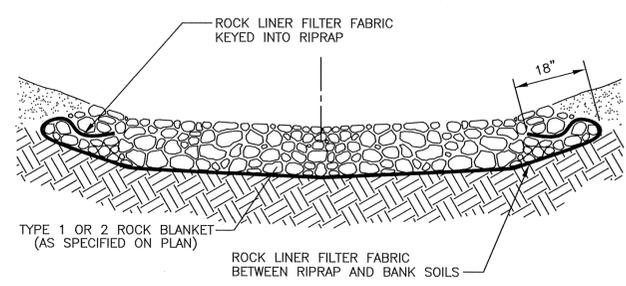
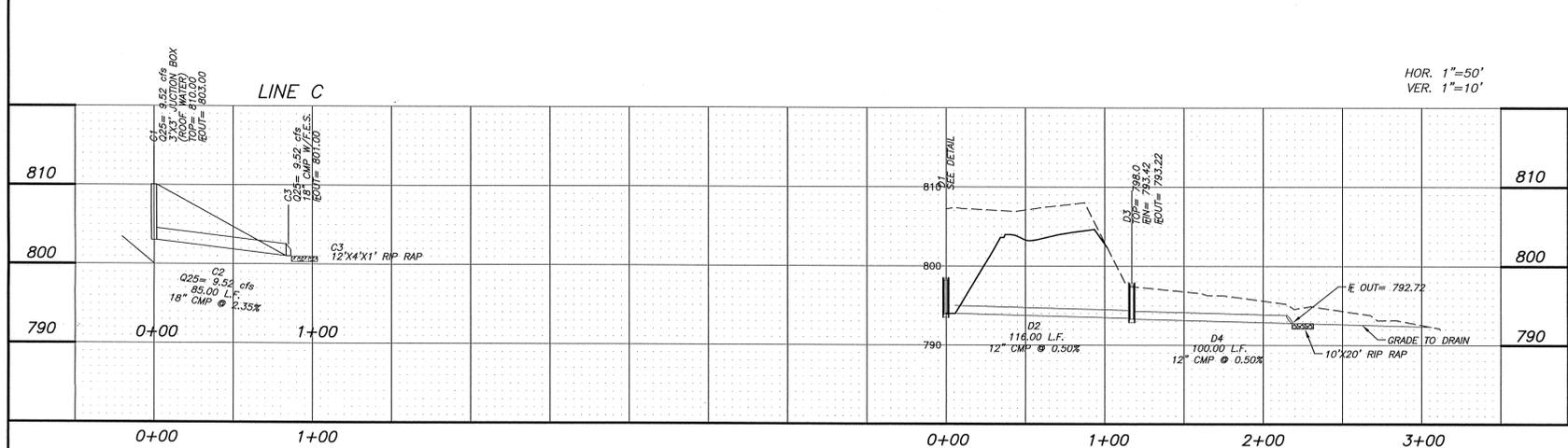
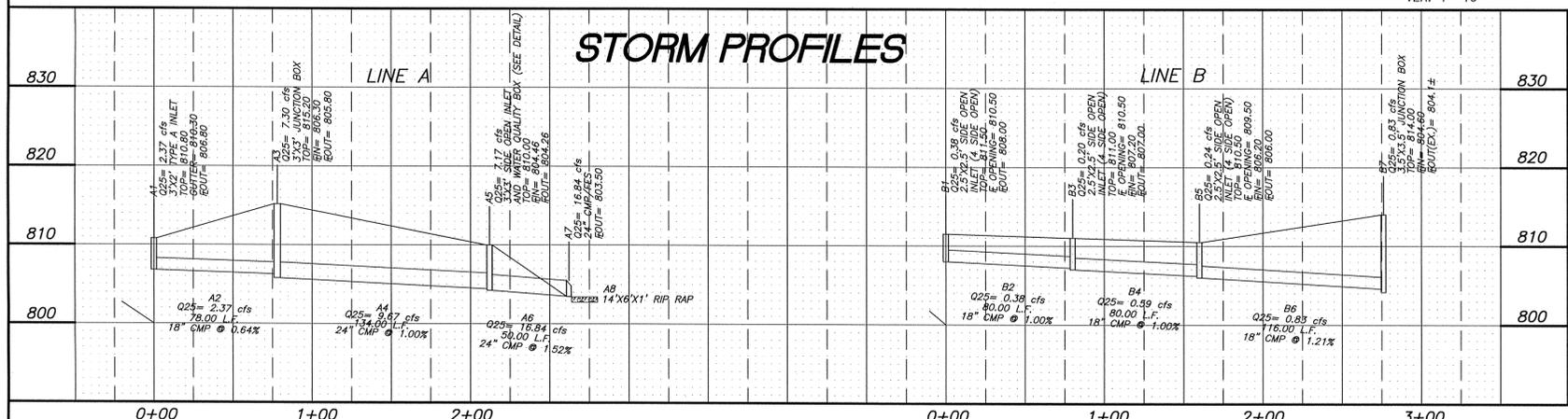
DIVERSION BERM DETAIL
N.T.S.



TYPICAL ASPHALT PAVEMENT
PARKING LOT DETAIL (HEAVY)

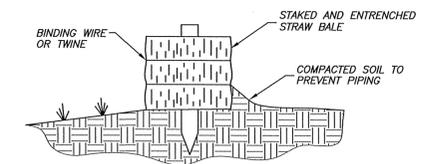


TYPICAL ASPHALT PAVEMENT
PARKING LOT DETAIL (LIGHT)



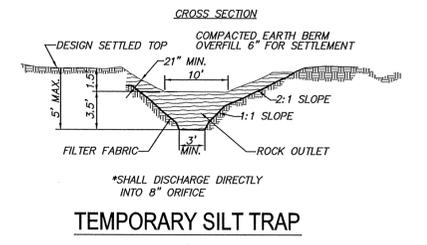
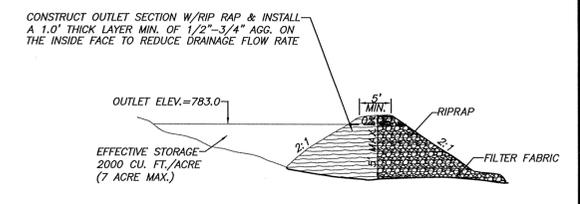
- NOTE:
1. ROCK LINER FILTER FABRIC SHALL CONSIST OF A NON-WOVEN, POLYPROPYLENE TYPE FABRIC SUCH AS: AMOCO 4553 NON-WOVEN GEOTEXTILE FABRIC OR APPROVED EQUAL.

RIP RAP W / FILTER FABRIC
530.03



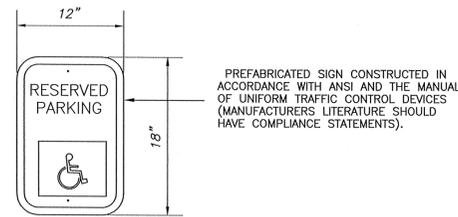
STRAW BALE CHECK

NOTE: GUTTER FLOWS AND PLAZA AREA ARE INCLUDED AT UPSTREAM JUNCTION BOX LOCATIONS



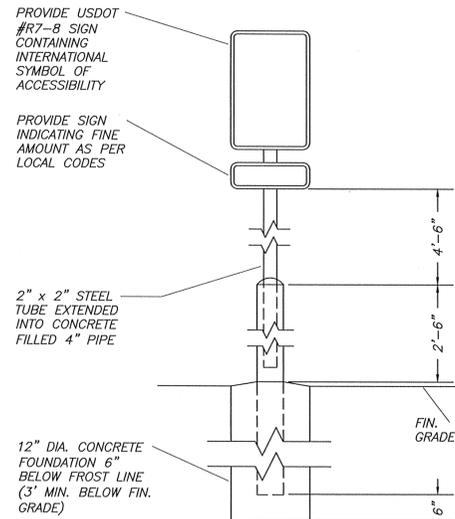
TEMPORARY SILT TRAP

		DETAILS EASTPORT CENTER COLUMBIA, MISSOURI		
		REVISED: APRIL 07 '05	ALLSTATE CONSULTANTS, P.C. 3312 LEMONE INDUSTRIAL BLVD. COLUMBIA, MO 65201 (573) 875-8799	
SCALE: N.T.S.	DATE FEB. 23 '05	JOB # 05075.02		

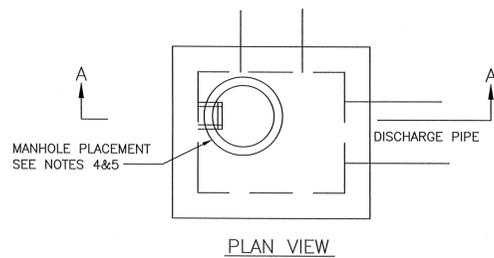


PREFABRICATED SIGN CONSTRUCTED IN ACCORDANCE WITH ANSI AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MANUFACTURERS LITERATURE SHOULD HAVE COMPLIANCE STATEMENTS).

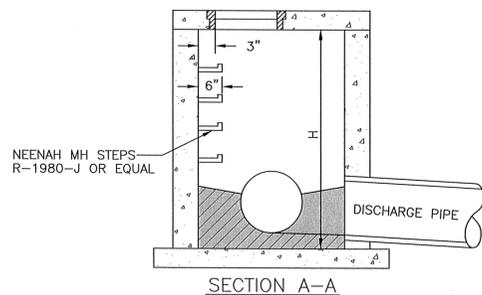
BOTTOM OF SIGN MUST BE AT LEAST 5'-0" ABOVE THE GROUND/CURB.



HANDICAPPED PARKING SIGN



PLAN VIEW

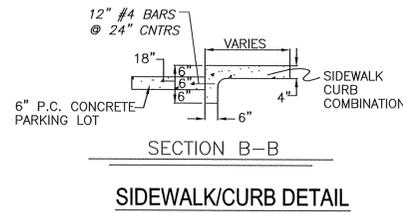


SECTION A-A

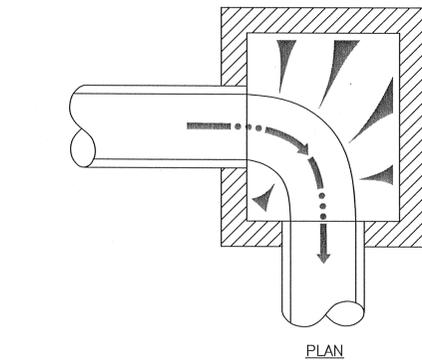
NOTES:

- STEPS NOT REQUIRED WHERE H IS LESS THAN 4'.
- CAST IRON STEPS SHALL BE NEENAH R-1980-J OR EQUAL
- STEPS SHALL BE PLACED ON VACANT WALL WHEN POSSIBLE
- MANHOLE RING SHALL BE OFFSET TOWARD WALL WITH STEPS
- MANHOLE RING SHALL BE CENTERED ON CENTERLINE OF STEPS
- STAGGER STEPS 2" EACH WAY FROM CENTERLINE OF MANHOLE RING.
- TOP STEP 24" BELOW TOP OF SLAB
STEP SPACING TO BE 16", BOTTOM STEP TO BE NO HIGHER THAN 16" FROM INVERT.

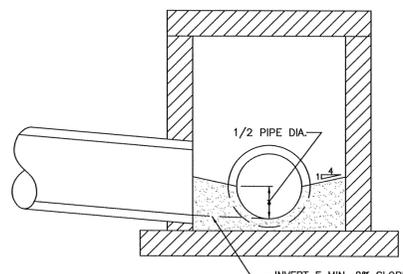
DRAINAGE STRUCTURE STEPS
500.01



SECTION B-B
SIDEWALK/CURB DETAIL



PLAN

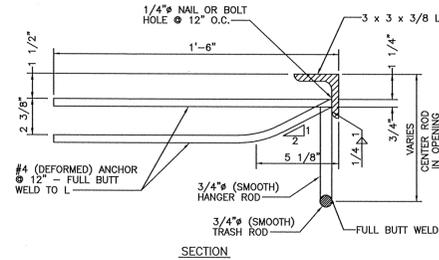


SECTION

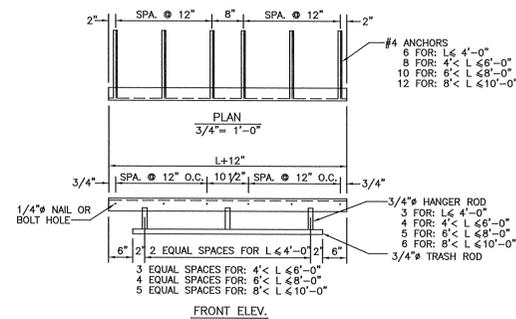
NOTES:

- FORM ALL INVERTS FOR SMOOTH FLOW THRU STRUCTURE.
- INVERT SHALL BE FORMED UP TO 1/2 THE PIPE DIAMETER.
- INVERT SHALL BE CLASS E CONCRETE.

DRAINAGE STRUCTURE
INVERT
500.02



SECTION

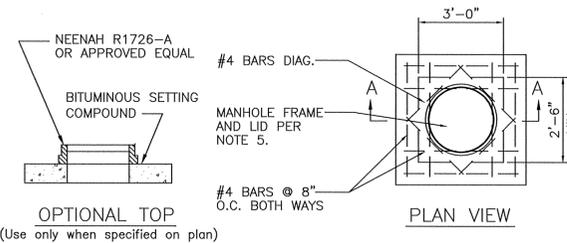


FRONT ELEV.

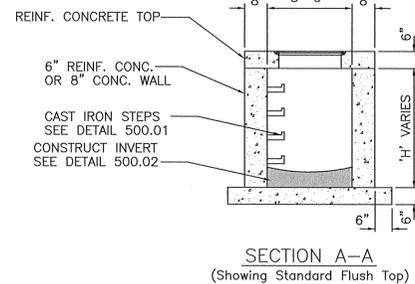
NOTES:

- STRUCTURAL STEEL SHALL BE GRADE A-36
- EXPOSED STEEL SURFACES TO BE FINISHED SMOOTH.
- HOT DIP GALVANIZE ASSEMBLY, EXCEPT THAT GALV. NOT REQUIRED ON DEFORMED ANCHORS. CHIPPING NOT REQUIRED ON ANCHOR WELDS.
- NAILS OR BOLTS USED TO ANCHOR ANGLE ASSEMBLY TO FORM SHALL BE REMOVED OR CUT OFF FLUSH WITH SURFACE OF ANGLE.
- DIMENSION "L" REPRESENTS THE INSIDE INLET DIMENSION.

INLET OPENING
TRASH RACK
500.03



OPTIONAL TOP
(Use only when specified on plan)

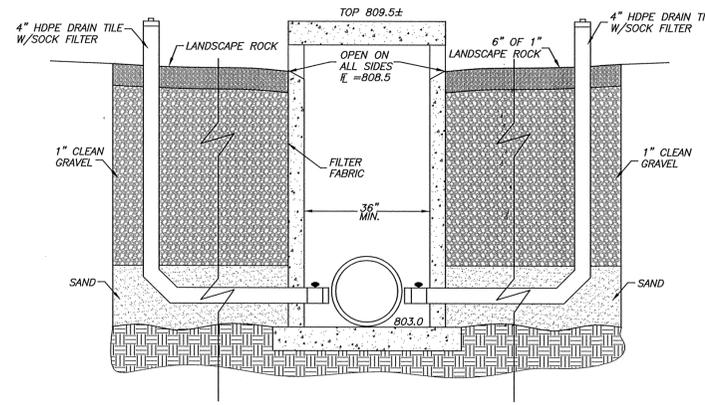


SECTION A-A
(Showing Standard Flush Top)

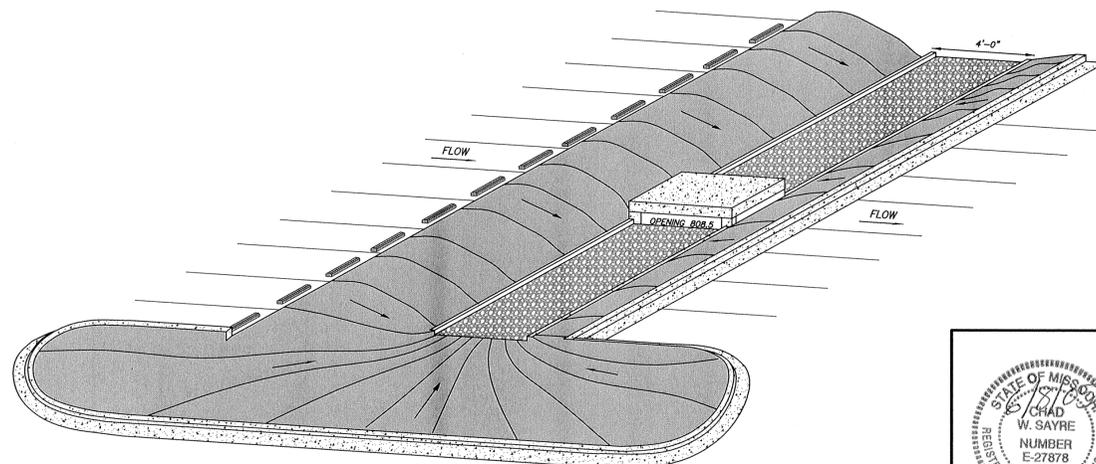
NOTES:

- CONCRETE SHALL BE CLASS E FOR BASES AND D FOR WALLS AND TOP.
- REINFORCING STEEL SHALL BE GRADE 60
- INSTALL WEEP HOLES AS PER DETAIL 500.04
- STRUCTURES WHERE H>8' SHALL BE REINFORCED CONCRETE (#4 BARS AT 12" CTRS, BOTH WAYS AND #4 BARS DIAGONAL AT PIPE OPENINGS)
- FRAME AND LID SHALL BE NEENAH R-1960-A (TYPE C LID), DEETER 1180, OR APPROVED EQUAL. SEE DETAIL 500.01 FOR PLACEMENT.

JUNCTION BOX



ROCK TRENCH FILTER
DETAIL



AREA INLET

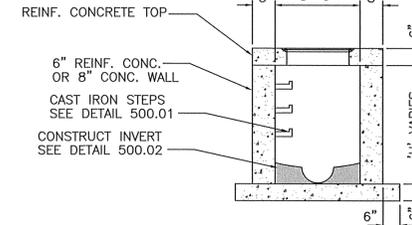
NOTES:

- CONCRETE SHALL BE CLASS E FOR BASES, CLASS D FOR WALLS AND TOP.
- REINFORCING STEEL SHALL BE GRADE 60
- INSTALL WEEP HOLES AS PER DETAIL 500.04
- STRUCTURES WHERE H>8' SHALL BE REINFORCED CONCRETE (#4 BARS AT 12" CTRS, BOTH WAYS AND #4 BARS DIAGONAL AT PIPE OPENINGS)

SECTION A-A

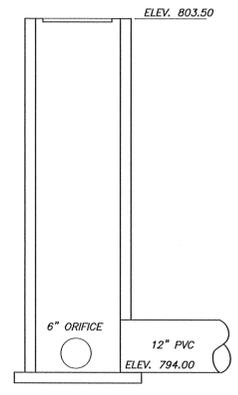


CATCH BASIN
PLAN VIEW

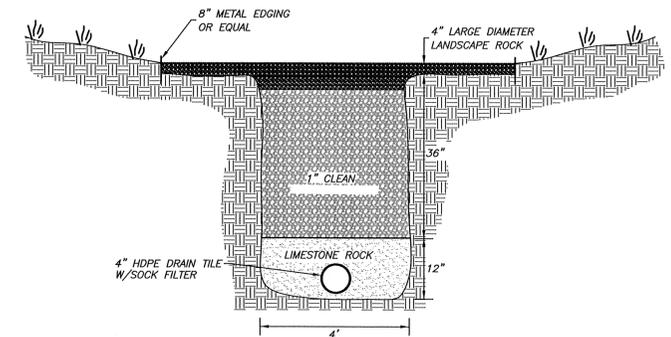


SECTION A-A

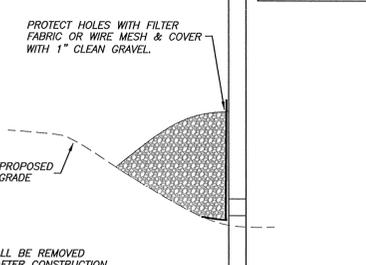
SUPPLIERS SHALL PROVIDE 3" CLEARANCE ON BOTH SIDES OF STORMWATER PIPE IN BOXES



DI



ROCK TRENCH FILTER
CROSS SECTION

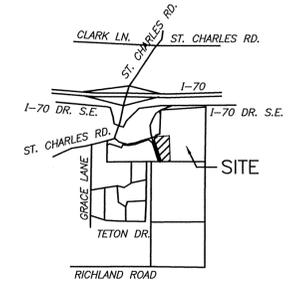
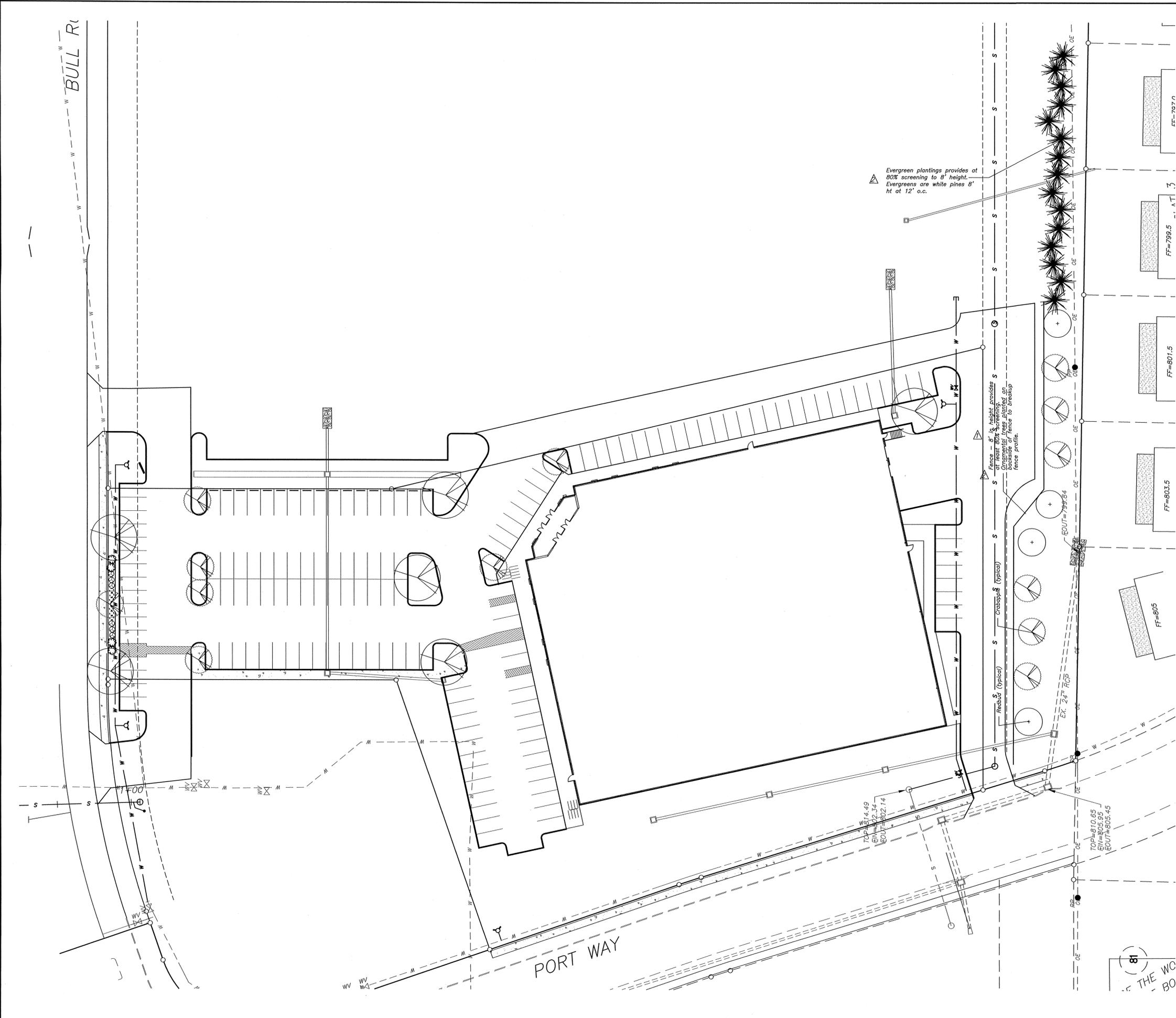


SILT TRAP OUTLET
DI

NOTE:

SEDIMENT SHALL BE REMOVED FROM POND AFTER CONSTRUCTION TO ENSURE REQUIRED DETENTION VOLUME IS AVAILABLE

<p>DETAILS EASTPORT CENTER COLUMBIA, MISSOURI</p>			
<p>REVISIONS:</p>		<p>ALLSTATE CONSULTANTS, P.C. 3312 LEMONE INDUSTRIAL BLVD. COLUMBIA, MO 65201 (573) 875-8799</p>	
<p>SCALE:</p>	<p>N.T.S.</p>	<p>DATE</p>	<p>JOB #</p>
<p>CHAD W. SAYRE E-27878</p>	<p>FEB. 24 '05</p>	<p>05075.02</p>	<p>SHEET 4 OF 5</p>



LOCATION MAP
(NOT TO SCALE)

OWNER
PRIME DEVELOPMENT CORPORATION
2311 EAST WALNUT
COLUMBIA, MISSOURI 65201
(573)817-1978

LANDSCAPING CALCULATIONS

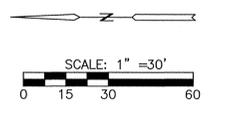
- LOT 10**
- IMPERVIOUS AREA: 104,214 S.F. (73%)
LANDSCAPE AREA: 39,098 S.F. (27%)
 - MIN. NUMBER OF TREES REQUIRED AS PER SECTION 29-156(1) LANDSCAPED AREA = $\geq 27 > 15\%$
 - o(2) N/A
 - o(3) 130 L.F. WITHIN 20' OF R/W
65 L.F. REQUIRED SCREENING - 67 L.F. PROVIDED
3 TREES REQUIRED - 3 TREES PROVIDED
 - o(4) 51,766 S.F./4500 = 12 TREES
12 TREES PROVIDED
 - o(5) N/A
 - o(6) N/A
 - o(7) 8 OR 15 TREES ARE MEDIUM TO LARGE SHADE TREES (53%)

LOT 11

486 LF OF SCREENING IS REQUIRED ON LOT 11 FOR SCREENING OF LOTS 10 & 11. 480LF OF SCREENING ARE PROVIDED IN THE FORM OF A 8' FENCE AND EVERGREEN PLANT MATERIAL.

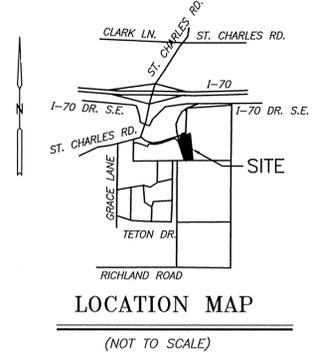
PLANT LEGEND- Lot 10			
SYMBOL	QTY	PLANT NAME	SIZE
	8	Pin Oak, River Birch, Green Ash	2" cal
	7	Crabapple, Redbud	2" cal
	6	Maiden Grass	5 gal
	4	Juniper - Sea Green, Old Glold	5 gal
	6	Spirea - Goldmound, Little Princess	5 gal
	0	Barberry - Crimson Pygmy	5 gal

PLANT MATERIAL PROVIDED FOR SCREENING AND BEHIND SCREENING FENCE ON LOT 11 ARE NOT LISTED IN ABOVE PLANT LEGEND.



ROST LANDSCAPING & DESIGN, INC. 2450 Trails West Blvd. Columbia, MO 65202 573-445-4465 Designed by: Michelle Jansen	C-P LANDSCAPE PLAN EASTPORT CENTER COLUMBIA, MISSOURI	
	REVISED: APRIL 20 '04 JUNE 08 '05	ALLSTATE CONSULTANTS, P.C. 3312 LEMONE INDUSTRIAL BLVD. COLUMBIA, MO 65201 (573) 875-8799
SCALE: 1" = 30'	DATE FEB. 23 '05	JOB # 05075.02
		SHEET 5 OF 5

MINOR AMENDMENT



OWNER
PRIME DEVELOPMENT CORPORATION
2311 EAST WALNUT
COLUMBIA, MISSOURI 65201
(573) 7-1978

FLOOD PLAIN STATEMENT
THIS TRACT IS NOT LOCATED IN THE BOONE COUNTY'S FLOOD PLAIN MAPS.

NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITION AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- BUILDING SIZE AND DIMENSIONS ARE APPROXIMATE. SEE ARCHITECT'S PLANS FOR ACCURATE DIMENSIONS.
- TRACT IS ZONED C-P.
- LOT 10 IS 3.29 ACRES.
- ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS SHOWN OTHERWISE.
- DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED AS PER CITY OF COLUMBIA STANDARDS.
- PAVING CONTRACTOR SHALL PROVIDE PERMANENT PAVEMENT MARKING (STRIPING) 4 INCHES WIDE USING PAVEMENT PAINT APPROPRIATE FOR STRIPING THE PARKING AREAS. COLOR SHALL BE WHITE FOR GENERAL PARKING AND BLUE FOR HANDICAP SPACES.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF UTILITY CONNECTIONS.

LEGAL DESCRIPTION

LOTS 9, 10 & 11 OF EASTPORT CENTER PLAT 2-A LOCATED IN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 48 NORTH, RANGE 12 WEST, COLUMBIA, BOONE COUNTY, MISSOURI, BEING PART OF LOT 1B AND LOT 1C, EASTPORT PLAT 1-B, RECORDED IN PLAT BOOK 38, PAGE 63.
COMMENCING AT THE EAST QUARTER CORNER OF SECTION 10-48-12, BEING THE SOUTHEAST CORNER OF SAID EASTPORT PLAT 1-B; THENCE WITH THE LINES OF SAID EASTPORT PLAT 1-B, N88°58'10"W, 1255.47 FEET; THENCE 22.01 FEET ALONG A 500.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A CHORD, N18°33'20"W, 22.01 FEET; THENCE N17°17'40"W, 43.63 FEET TO THE POINT OF BEGINNING;
THENCE FROM THE POINT OF BEGINNING, CONTINUING N17°17'40"W, 199.02 FEET; THENCE 15.75 FEET ALONG A 493.00-FOOT RADIUS CURVE TO THE LEFT, SAID CURVE HAVING A CHORD, N18°12'55"W, 15.75 FEET; THENCE N18°07'30"W, 135.02 FEET; THENCE LEAVING THE LINES OF SAID EASTPORT PLAT 1-B, N70°52'30"E, 192.57 FEET; THENCE N0°00'00"E, 194.35 FEET; THENCE S90°00'00"E, 129.00 FEET; THENCE S0°00'00"W, 191.27 FEET; THENCE S13°36'20"E, 410.24 FEET; THENCE N0°00'00"W, 299.11 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.29 ACRES.

PARKING CALCULATIONS

LOT 10
REQUIRED PARKING
12,987 S.F. RETAIL @ 1/200 = 65 SPACES
40,000 S.F. FURNITURE STORE @ 1/400 = 100 SPACES
TOTAL PARKING REQUIRED = 165
PROVIDED PARKING
147 SPACES + 6 H.C. SPACES + 14 BICYCLE SPACES
TOTAL SPACES = 167

DESIGN PARAMETERS

- THE MAXIMUM GROSS SQUARE FOOTAGE OF BUILDING FLOOR AREA SHALL BE 56,000 S.F.
- THE MINIMUM DISTANCE BETWEEN ANY BUILDING AND A PROPERTY LINE SHALL BE 15'. THE MINIMUM DISTANCE BETWEEN ANY BUILDING AND A RIGHT OF WAY LINE SHALL BE 25'.
- THE MAXIMUM HEIGHT OF ANY BUILDING ON SITE SHALL BE 36'.
- THE MINIMUM DISTANCE BETWEEN THE EDGE OF ANY DRIVEWAY, PARKING AREA, LOADING AREA, TRASH STORAGE AREA AND ANY ADJACENT PROPERTY LINES AND RIGHT OF WAY LINES SHALL BE 0' FOR PROPERTY LINES AND 6' FOR PUBLIC RIGHT OF WAY LINES.
- THE MINIMUM PERCENTAGE OF THE SITE TO BE MAINTAINED IN OPEN SPACE SHALL BE 15%.
- THERE WILL BE 1 FREESTANDING SIGNS ON THE SITE, THE BUILDING MOUNTED SIGNING WILL BE A MAXIMUM OF 612.5 SQUARE FEET.

WATERLINE NOTES

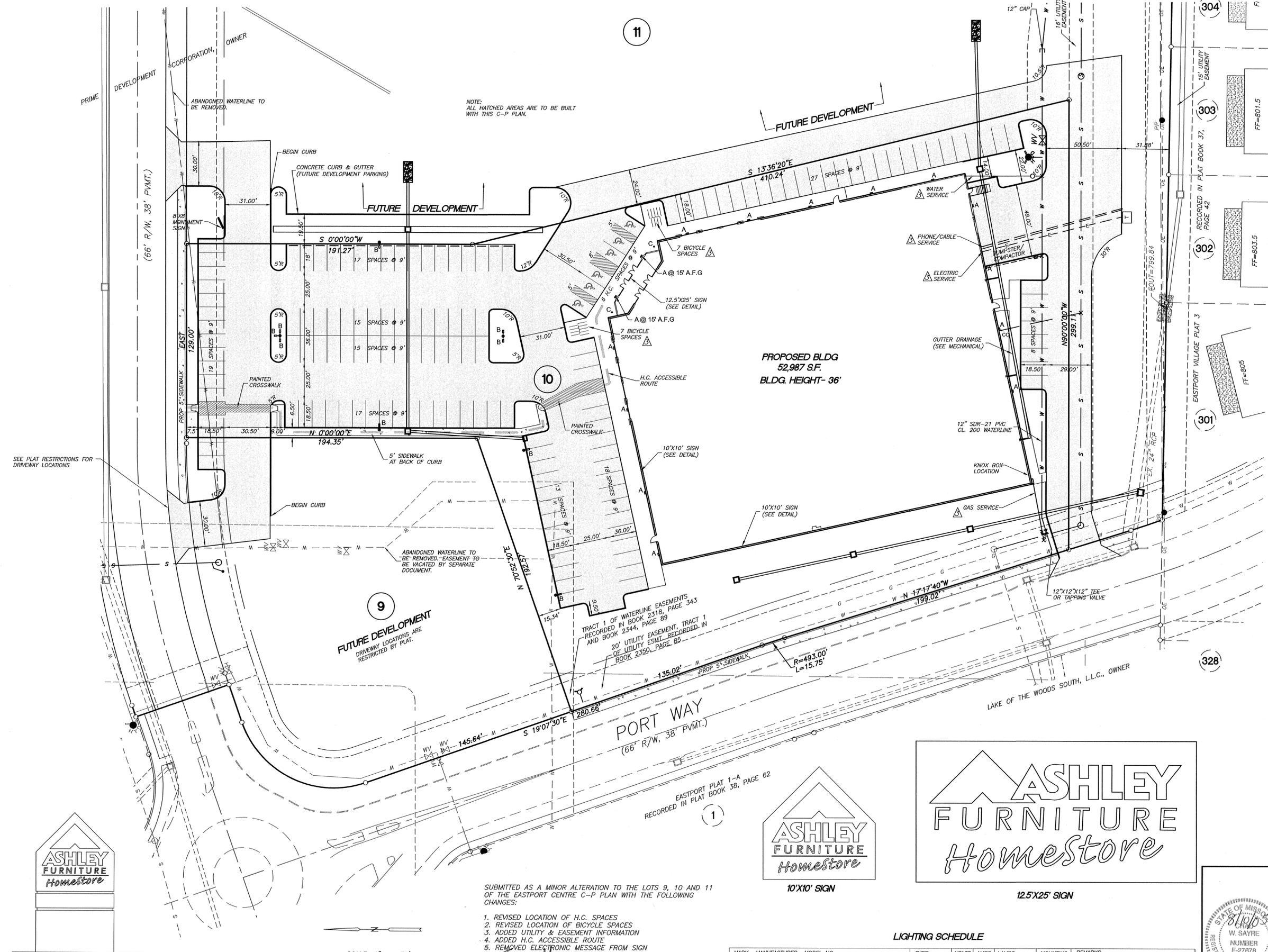
- WATERLINE SHALL BE APPROVED BY PWS# 9 ON SEPARATE PLAN AND SHALL MEET PWS# 9 SPECIFICATIONS.

C-P PLAN
LOTS 9, 10 AND 11 EASTPORT CENTRE
COLUMBIA, MISSOURI

REVISED:
APRIL 07 '05
JUNE 08 '05
JULY 14 '05
AUGUST 10 '05

ALLSTATE CONSULTANTS, P.C.
3312 LEMONE INDUSTRIAL BLVD.
COLUMBIA, MO 65201
(573) 875-8799

SCALE: 1" = 30'
DATE: FEB. 24 '05 JOB #: 05075.02 SHEET: 1 OF 5



PROPOSED BLDG
52,987 S.F.
BLDG. HEIGHT- 36'



SUBMITTED AS A MINOR ALTERATION TO THE LOTS 9, 10 AND 11 OF THE EASTPORT CENTRE C-P PLAN WITH THE FOLLOWING CHANGES:

- REVISED LOCATION OF H.C. SPACES
- REVISED LOCATION OF BICYCLE SPACES
- ADDED UTILITY & EASEMENT INFORMATION
- ADDED H.C. ACCESSIBLE ROUTE
- REMOVED ELECTRONIC MESSAGE FROM SIGN

TIM TEDDY
10/1/05
DATE
DIRECTOR OF PLANNING AND DEVELOPMENT

LIGHTING SCHEDULE

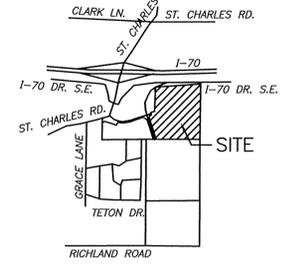
MARK	MANUFACTURER	MODEL NO.	TYPE	VOLTS	AMPS	LAMPS	MOUNTING	REMARKS
A	KIM	WD18D4_40MMH208_DB-P	WALL PACK	208	1.92	1-400W MH	BUILDING	MOUNTED @ 20" ABOVE FINISHED GRADE
B	LITHONIA	KSF2_400M_R4SC_208_SF04	POLE LIGHT	208	1.92	1-400W MH	POLE	20" OVERALL POLE LIGHT
C	HYDREL	MS410_SS_70MTR_120_NSP_34SNPT	ACCENT	120	0.5	1-70W MH	INGRADE	



ENVIRONMENTAL STATEMENTS

1. SUBSTANCES REGULATED BY FEDERAL LAW UNDER THE RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) OR THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (CERCLA) WHICH ARE TRANSPORTED, STORED OR USED FOR MAINTENANCE, CLEANING OR REPAIRS SHALL BE MANAGED ACCORDING TO THE PROVISIONS OF RCRA AND CERCLA.
2. ALL PAINTS, SOLVENTS, PETROLEUM PRODUCTS AND PETROLEUM WASTE PRODUCTS (EXCEPT FUELS) AND STORAGE CONTAINERS (SUCH AS DRUMS, CANS OR CARTONS) SHALL BE STORED SUCH THAT THESE MATERIALS ARE NOT EXPOSED TO STORM WATER. SUFFICIENT PRACTICES OF SPILL PREVENTION, CONTROL AND/OR MANAGEMENT SHALL BE PROVIDED TO PREVENT ANY SPILLS OF THESE POLLUTANTS FROM ENTERING A WATER OF THE STATE. ANY CONTAINMENT SYSTEM USED TO IMPLEMENT THIS REQUIREMENT SHALL BE CONSTRUCTED OF MATERIALS COMPATIBLE WITH THE SUBSTANCES CONTAINED AND SHALL ALSO PREVENT THE CONTAMINATION OF GROUNDWATER.
3. THE APPLICANT SHALL NOTIFY BY TELEPHONE AND IN WRITING THE DEPARTMENT OF NATURAL RESOURCES, WATER POLLUTION CONTROL PROGRAM, POST OFFICE BOX 176, JEFFERSON CITY, MO 65102, 1-800-361-4827, OF ANY OIL SPILLS OR IF HAZARDOUS SUBSTANCES ARE FOUND DURING THE PROSECUTION OF WORK UNDER THIS PERMIT.

MINOR AMENDMENT



GENERAL NOTES

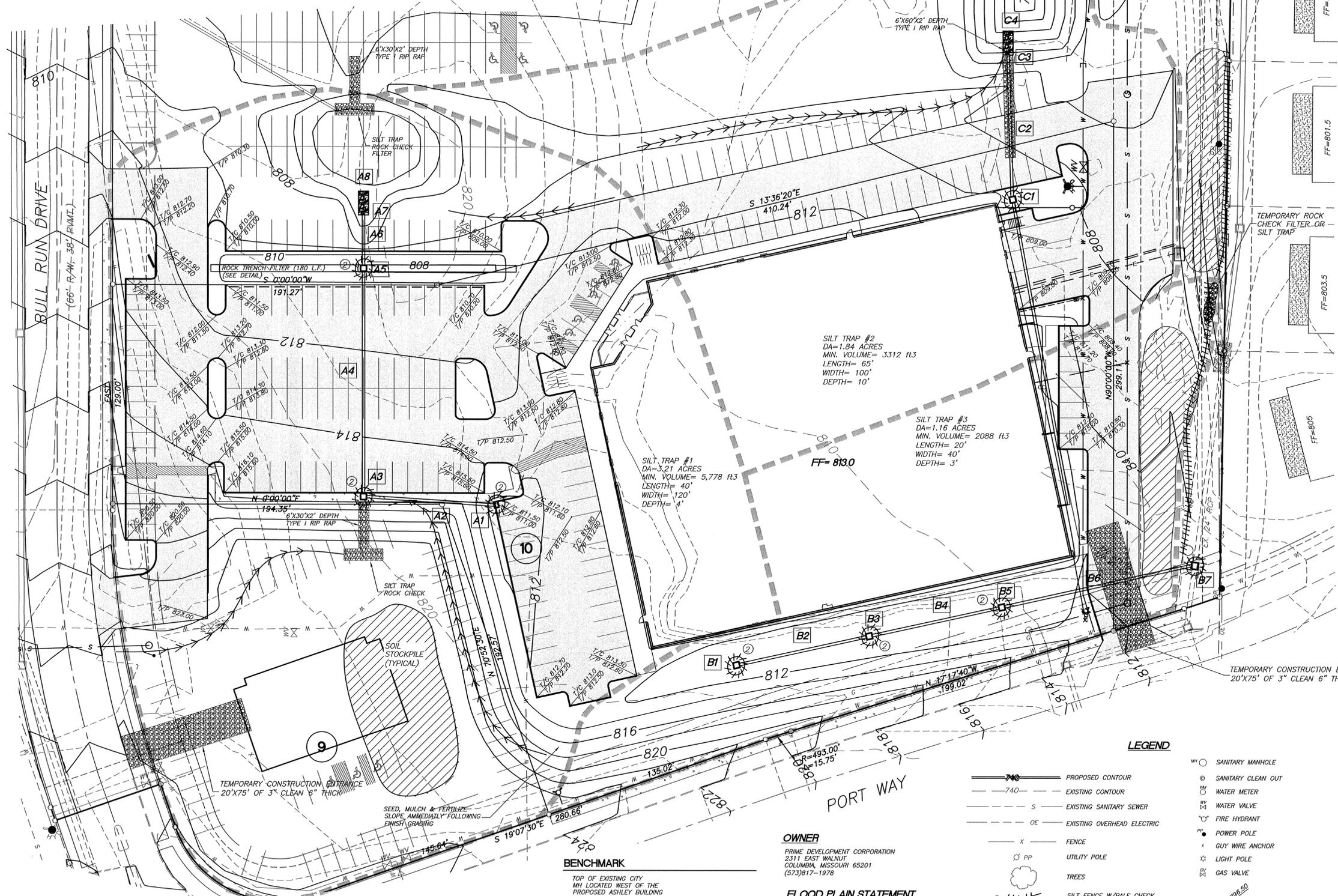
1. CONTRACTOR SHALL VERIFY EXISTING CONDITION AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
2. BUILDING SIZE AND DIMENSIONS ARE APPROXIMATE. SEE SITE PLANS FOR ACCURATE DIMENSIONS.
3. TRACT IS ZONED C-P.
4. LOT 10 IS 3.29 ACRES.
5. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS SHOWN OTHERWISE.
6. DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED AS PER CITY OF COLUMBIA STANDARDS.
7. BACK SLOPES SHALL BE STABILIZED AS SOON AS GENERAL GRADING OPERATIONS ARE COMPLETE. IF VEGETATIVE COVER CAN NOT BE ESTABLISHED PRIOR TO THE ONSET OF WINTER, AN ALTERNATIVE METHOD OF STABILIZATION SHALL BE USED UNTIL VEGETATIVE COVER IS ESTABLISHED.

LAND PRESERVATION NARRATIVE

1. THE PROJECT INCLUDES THE DEVELOPMENT OF 3.29 ACRES. THE SITE IS CURRENTLY VEGETATED. CONSTRUCTION WILL CONSIST OF A BUILDING AND PARKING LOTS, STORM SEWER, SANITARY SEWER, WATERLINE, AND OTHER LINEAR UTILITIES.
2. DIVERSION BERMS, SILT TRAPS, SILT FENCE AND OTHER BMP'S SHALL BE INSTALLED, MAINTAINED AND ALTERED AS NEEDED ON SITE TO CONTROL SEDIMENT AND HELP ATTENUATE PEAK FLOW. THESE BMP'S SHALL BE USED TO INSURE CONTROL OF ON-SITE SEDIMENT AND TO INSURE THAT THIS DISTURBANCE DOES NOT AGGRAVATE EXISTING OFF SITE ISSUES.
3. RUNOFF PRODUCING FACTORS AND A COMPLETE HYDRAULIC ANALYSIS ARE ON FILE AT THE CITY OF COLUMBIA AND ALLSTATE CONSULTANTS.
CALCULATIONS SUMMARIZING REQUIRED HYDRAULIC FEATURES ARE ON FILE AT THE CITY OF COLUMBIA AND ALLSTATE CONSULTANTS.
4. SEDIMENT CONTROL REMOVAL AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SUBSEQUENT LOT OWNER. THE MNR OR OWNER MAY DIRECT MAINTENANCE AND ADDITIONAL BMP'S AS NEEDED TO ADDRESS CONCERNS OF WATER QUALITY.
5. THE ENTIRE PLAT AREA IS PLANNED TO BE DISTURBED. ALL DIVERSION BERMS AND CHECKS SHALL BE IN PLACE PRIOR TO MASS GRADING. SILT FENCES ARE TO BE IN PLACE PRIOR TO MASS GRADING UNLESS NOT POSSIBLE BECAUSE OF EARTHWORK.
6. SITE CONTAINMENT AND TERRAIN DEFINED THE USE OF DIVERSION BERMS TO SILT FENCE, SILT TRAPS AND ROCK CHECKS. SILT FENCE SHALL BE UTILIZED FOR SMALLER EFFECTED AREAS AND USED TO SUPPLEMENT FILTERING OF DISCHARGES.
7. THE DEVELOPER AND SUBSEQUENT LOT OWNER BUILDER SHALL INSPECT THE BMP'S AT INTERVALS NOT EXCEEDING 7 DAYS OR BEFORE AND AFTER RAINFALL THAT EXCEED 1/8 INCH IN PRECIPITATION.
8. TEMPORARY MULCH MAY BE USED IN WINTER MONTHS FOR SLOPE STABILIZATION. FOLLOWING COMPLETION OF UTILITIES AND STREETS AND THE CONSTRUCTION OF THE HOMES, ALL SEEDING AND MULCHING SHALL BE COMPLETED. LOT OWNERS SHALL NOT REMOVE BMP'S UNTIL SITE IS STABILIZED BY VEGETATION.
9. THIS PLAN IS INTENDED TO COMPLY WITH SECTION 12A OF THE ORDINANCES OF THE CITY OF COLUMBIA STORM DRAINAGE DESIGN MANUAL.

EROSION CONTROL NOTES

1. (1) DENOTES EROSION CONTROL STRUCTURES THAT SHOULD BE INSTALLED AS ROUGH GRADING BEGINS. TYPICALLY THE EROSION CONTROL STRUCTURES SHOULD BE INSTALLED IN THE AREAS DISTURBED AT THE END OF EACH DAY.
2. (2) DENOTES EROSION CONTROL STRUCTURES THAT SHOULD BE INSTALLED AROUND DRAINAGE STRUCTURES AFTER THEY ARE INSTALLED AND REMOVED ONLY FOR PAVING OPERATIONS.
3. NATURAL GROUND COVER WILL BE MAINTAINED WHERE POSSIBLE.
4. HHHH DENOTES "FABRIC OR STRAWBALE SEDIMENT BARRIER." EROSION CONTROL STRUCTURES SHALL BE INSTALLED AT LOCATIONS DISTURBED AT END OF EACH DAY WHERE PRACTICAL.
5. EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL EFFECTED AREA IS STABILIZED. EROSION CONTROL STRUCTURES SHOULD BE FIELD ADJUSTED TO ACCOMPLISH DESIRED RESULTS. DEVELOPER SHALL PROVIDE EROSION CONTROL AROUND ANY STOCKPILED, EXCAVATED MATERIAL.
6. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMITY WITH THE CITY OF COLUMBIA STORM DRAINAGE DESIGN MANUAL.
7. INLETS SHALL BE PROTECTED WITH SILT FENCE, "GUTTER BUDDIES" OR EQUIVALENT UNTIL AREA DRAINING TO INLET IS STABILIZED.
8. SILT TRAP DIMENSIONS MAY VARY AS FIELD CONDITIONS WARRANT AS LONG AS THE MINIMUM VOLUME REQUIREMENT IS MET.

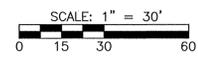


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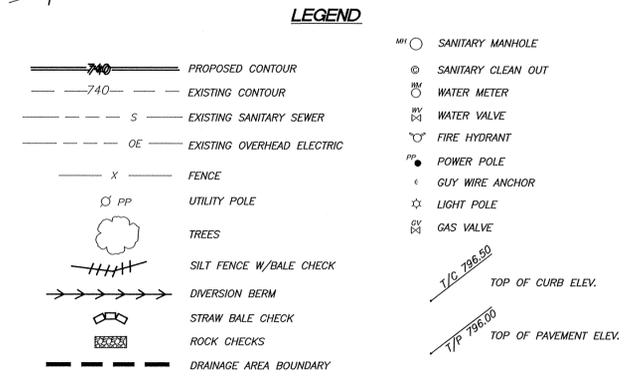
FLOOD PLAIN STATEMENT
THIS TRACT IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN BY THE CITY OF COLUMBIA'S FLOOD PLAIN MAPS.

TREE PRESERVATION NOTES

1. THERE IS NO CLIMAX FOREST WITHIN THE DISTURBED AREA OF THIS PLAT.



BENCHMARK
TOP OF EXISTING CITY MH LOCATED WEST OF THE PROPOSED ASHLEY BUILDING
ELEV. = 814.49



C-P GRADING PLAN
LOTS 9, 10 AND 11 EASTPORT CENTER
COLUMBIA, MISSOURI

REVISED:
APRIL 07 '05
JULY 08 '05

ALLSTATE CONSULTANTS, P.C.
3312 LEMONE INDUSTRIAL BLVD.
COLUMBIA, MO 65201
(573) 875-8799

SCALE: 1"=30'

DATE: FEB. 24 '05

JOB #: 05075.02

SHEET: 2 OF 5

CHAD W. SAYRE
E-27878